

## EXISTING RESIDENTIAL LOW DENSITY 2 (RLD2) ZONE PROVISIONS

TABLE 6A (081-2020)(077-2021)(007-2022)

<i>Permitted Uses</i>	RLD2, Low Density
<b>Residential Uses</b>	
<i>Apartment Building</i>	
<i>Dwelling, Back to Back Townhouse (39-2004)</i>	
<i>Dwelling, Detached</i>	•
<i>Dwelling, Duplex</i>	•
<i>Dwelling, Multiple</i>	
<i>Dwelling, Quattroplex</i>	
<i>Dwelling, Retirement</i>	
<i>Dwelling, Semi-detached</i>	•
<i>Dwelling, Townhouse</i>	
<i>Dwelling, Triplex</i>	
<i>Shared Housing (*2)</i>	•
<i>Short-Term Rental (*3)</i>	•
<b>Non-Residential Uses</b>	
<i>Convenience Store</i>	
<i>Cottage Industry</i>	
<i>Bank</i>	
<i>Home Day Care</i>	•
<i>Home Occupation</i>	•
<i>Long Term Care Facility</i>	
<i>Medical Clinic</i>	
<i>Office Building</i>	
<i>Office Uses</i>	
<i>Personal Service</i>	
<i>Shop</i>	
<i>Restaurant</i>	

Footnote(s) for Table 6A

(\*1) Only permitted in the *first storey* of an *office building* or *apartment building* containing a permitted use, and shall have a cumulative *gross floor area* up to a maximum of 10% the total *gross floor area* of the *building*.

(\*2) *Shared Housing* is permitted within any dwelling unit that is permitted in the zone.

(\*3) *Short-Term Rental* is permitted within any *dwelling unit* that is permitted in the zone.

**TABLE 6B-1 (077-2021)(007-2022)**

Regulations	RLD2		
	Residential Low Density II		
	Dwelling Type		
	Detached Dwelling / Duplex Dwelling (*1)	Semi-detached Dwelling (*1)	
		Corner Lot	Interior Lot
<b>Lot Frontage</b> (Minimum)	15.0m	11.4m / unit	10.0m / unit
<b>Lot Depth</b> (Minimum)	30m	30m	30m
<b>Lot Area</b> (Minimum)	N/A	N/A	N/A
<b>Lot Coverage</b> (Maximum)	(*2)	(*2)	(*2)
<b>Front Yard Setback</b> (Minimum)	6.5m (*3)	6.5m (*3)	6.5m (*3)
<b>Interior Side Yard Setback</b> (Minimum)	(*4)	0.0m	0.0m on one side, other side subject to (*4 i) (*5)
<b>Exterior Side Yard Setback</b> (Minimum)	3.5m	3.5m	N/A
<b>Rear Yard Setback</b> (Minimum)	7.5m	7.5m	7.5m
<b>Building Height</b> (Maximum)	(*8)	(*8)	(*8)
<b>Number of Storeys</b> (Maximum)	2	2	2
<b>Landscaped Open Space</b> (Minimum)	30%	30%	30%

Footnotes for Table 6B-1:

(\*1) Shall be subject to the provisions of Section 6.3.3 of this By-law.

(\*2) See Table 6B-1 (I) below for maximum permitted *lot coverage*.

**TABLE 6B-1 (I)**

<i>Lot Area</i>	<i>Maximum Lot Coverage</i>
Less than 660 m <sup>2</sup>	30% *
660 – 830 m <sup>2</sup>	25% **
Greater than 830 m <sup>2</sup>	20% ***

\* Covered porch area may exceed the maximum *Lot Coverage* to a maximum of 1.5% provided there is no *gross floor area* or *amenity area* located above.

\*\* Covered porch area may exceed the maximum *Lot Coverage* to a maximum of 1.25% provided there is no *gross floor area* or *amenity area* located above.

\*\*\* Covered porch area may exceed the maximum *Lot Coverage* to a maximum of 1.0% provided there is no *gross floor area* or *amenity area* located above.

(\*3) In the case of an addition to an existing building, the minimum required *front yard setback* shall be equal to the *front yard setback* legally existing on the effective date of By-law 077-2021 or the minimum *front yard setback* required for the parent *zone*, whichever is less restrictive.

(\*4) Minimum *interior side yard*:

i) With attached *garage* or *carport*:

- a. 1.2m for one-storey *dwelling*s and 1.8m for two-storey *dwelling*s, where the *lot frontage* is less than 15m.
- b. 1.8m, where the *lot frontage* is equal to, or greater than, 15m but less than 25m.
- c. 3.0m, where the *lot frontage* is equal to, or greater than, 25m but less than 30m.
- d. 5.0m, where the *lot frontage* is equal to, or greater than, 30m.

ii) Where no *garage* or *carport* is attached to the dwelling:

- a. The *interior side yard setback* closest to the *driveway* shall be a minimum of 3.5m and the other side shall be a minimum of:
  - 1) 1.2m for one-storey *dwelling*s and 1.8m for two-storey *dwelling*s, where the *lot frontage* is less than 15m.
  - 2) 1.8m, where the *lot frontage* is equal to, or greater than, 15m but less than 25m.
  - 3) 3.0m, where the *lot frontage* is equal to, or greater than, 25m but less than 30m.
- b. Notwithstanding subsection ii) a. above, where the *lot frontage* is equal to, or greater than 30m, the *interior side yard setback* shall be a minimum of 5.0m on both sides of the *dwelling*.

(\*5) Where no *garage* or *carport* is attached to the dwelling, the *interior side yard setback* shall be 0.0m on one side and a minimum of:

- i) 3.5m on the other side, where the *lot frontage* is less than 30m.

- ii) 5.0m on the other side, where the *lot frontage* is equal to, or greater than, 30m.
- (\*6) Minimum *interior side yard*:
- i) With attached *garage* or *carport*:
    - a. 1.2m on one side of the lot and 1.8m on the other side for one-storey dwellings and 1.8m on both sides of the lot for two-storey dwellings, where the *lot frontage* is less than 20m.
    - b. 1.8m on one side of the lot and 2.4m on the other side, where the *lot frontage* is equal to, or greater than 20m.
  - ii) Where no *garage* or *carport* is attached to the dwelling:
    - a. The *interior side yard setback* closest to the *driveway* shall be a minimum of 3.5m, and the other side shall be a minimum of:
      - 1) 1.2m for one-storey dwellings and 1.8m for two-storey dwellings, where the *lot frontage* is less than 20m.
      - 2) 1.8m where the *lot frontage* is equal to, or greater than, 20m.
    - b. Notwithstanding subsection ii) a. above, where the *lot frontage* is equal to, or greater than 30m, the *interior side yard setback* shall be a minimum of 5.0m on both sides of the dwelling.
- (\*7) Where no *garage* or *carport* is attached to the *dwelling*, the *interior side yard setback* closest to the *driveway* shall be a minimum of 3.5m and the other side shall be a minimum of 1.2m.:
- (\*8) Notwithstanding any provisions of the By-law to the contrary, the maximum building height shall be:
- i) 7.5m in the case of a flat *roof*, measured from the *established grade* to the uppermost point of the *roof* surface or parapet, whichever is greater.
  - ii) 9.0m in the case of a gable, hip, gambrel or mansard *roof*, measured from the *established grade* to the uppermost point of the *roof* surface.
- (\*9) Notwithstanding any provisions of the By-law to the contrary, the maximum building height shall be:
- i) 8.0m in the case of a flat *roof*, measured from the *established grade* to the uppermost point of the *roof* surface or parapet, whichever is greater.
  - ii) 9.5m in the case of a gable, hip, gambrel or mansard *roof*, measured from the *established grade* to the uppermost point of the *roof* surface.

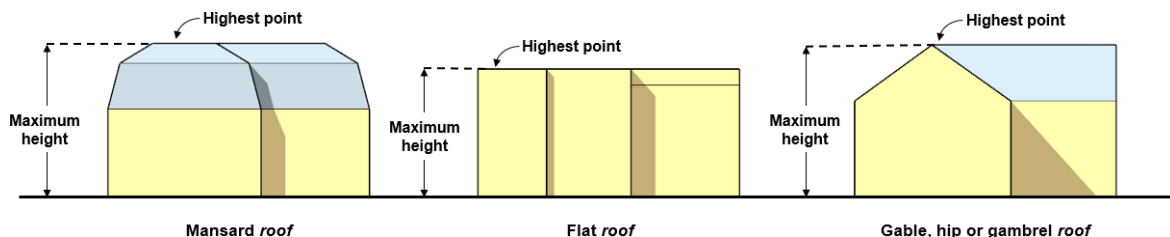


ILLUSTRATION OF BUILDING HEIGHT IN THE RLD2, RLD3, and RLD4 ZONES

**NOTE:** The above illustration is for clarification and convenience only and does not form part of this By-law.