

PARTIAL SITE PLAN OF
LOT 4
REGISTERED PLAN No. 20M-248
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON

LEGEND

HT	DENOTES HYDRO TRANSFORMER	ENTRY POINTS INTO BUILDING
WH	DENOTES WHOLE	DIRECTION OF SURFACE FLOW
CB	DENOTES SINGLE CATCHBASIN	F.F. FINISHED MAIN FLOOR
HP	DENOTES HYDRO POLE OR TELEPHONE POLE	F.F.D.S. DROPPED OR SUNKEN FLOOR
TP	DENOTES UTILITY POLE OR TELEPHONE POLE	T.F.W. TOP OF FOUNDATION WALL
LS	DENOTES LIGHT STAND	F.B.S. FINISHED BASEMENT SLAB
SGN	DENOTES SIGN	U.S.F. UNDERSIDE OF FOOTING
TM	DENOTES TELEPHONE CABLE MARKER	U.S.F.G. UNDERSIDE OF FOOTING GARAGE
PD	DENOTES TELEPHONE PEDESTAL	U.S.F.T. UNDERSIDE OF FTG. TRENCHED FOR WALKOUTS, LOOKOUTS
WV	DENOTES WATER VALVE VAN SHUT OFF	EF ENGINEERED FILLED LOT
WB	DENOTES WATER BOX / CURB STOP	HP HIGH POINT OF GRADE
TH	DENOTES FIRE HYDRANT	R NUMBER OF RISERS
GM	DENOTES GAS METER	WO WALKOUT CONDITION
OH	DENOTES OVERHEAD HYDRO WIRE	LO LOOKOUT CONDITION
UH	DENOTES UNDERGROUND HYDRO WIRE	REV REVERSE PLAN
T	DENOTES OVERHEAD TELEPHONE WIRE	W WINDOWS OR DOORS ON WALL
C	DENOTES UNDERGROUND GAS LINE	OSP SUMP PUMP
CT	DENOTES UNDERGROUND CABLE T.V.	FH FIRE HYDRANT
B	DENOTES BELL UNDERGROUND OR OVERHEAD CABLE T.V. PEDESTAL	T.T.R. TREE TO BE REMOVED
MB	DENOTES MAIL BOX	00.00 DENOTES NEW GRADES
SN INV	SANITARY CONNECTION / INVERT	00.00 DENOTES EXISTING GRADES
STN INV	STORM CONNECTION / INVERT	00.00 DENOTES BENCHMARK
W	WATER SERVICE	0 DENOTES TREE DIA = DENOTES DIAMETER
WM	WATER METER	0 DENOTES TREE TO BE REMOVED DIA = DENOTES DIAMETER
X	FENCE	FY FRONT YARD AREA

GENERAL NOTES :

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE CONSTRUCTION BY AN APPROVED SURVEYOR. THESE GRADES AND THE PLACEMENT OF STORMS AND SANITARY SERVICES OR STREET ARE TO MEET THE REQUIREMENT OF THE MUNICIPALITY HAVING JURISDICTION.

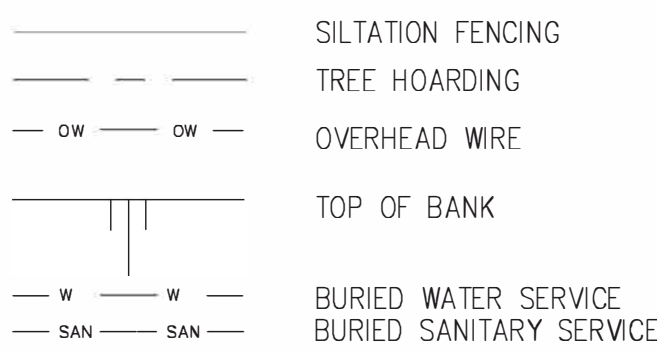
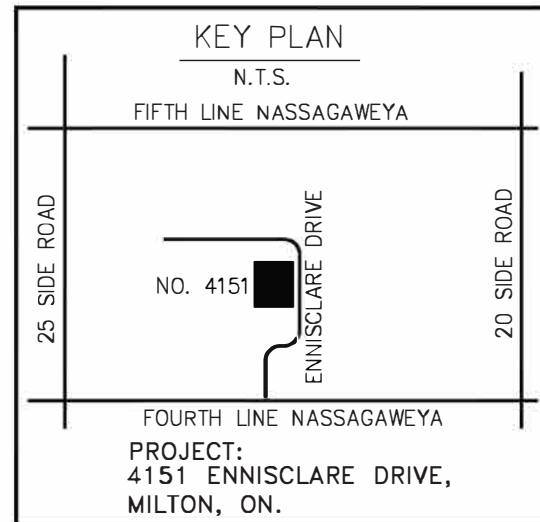
JANSEN CONSULTING IS TO BE NOTIFIED PROMPTLY PROMPTLY OF ANY DISCREPANCIES AT LEAST 1 (ONE) WEEK BEFORE EXAMINATION COMMENCES IN ORDER THAT THE BUILDING CAN BE REDESIGNED AND ANY DISCREPANCIES MAY REQUIRE EXTENSIVE REMEDIAL ACTION THAT WILL NOT BE AT THE BUILDERS RISK. IF OR COST TO JANSEN CONSULTING FOR REMEDIAL ACTION SHALL BE PAID TO A MINIMUM OF 6" ABOVE THE APPROVED GRADES.

FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.

CURB FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

LOCATES :

PRIOR TO DIGGING LOCATES REQUIRED FOR SEWER IF APPLICABLE
PRIOR TO DIGGING LOCATES REQUIRED FOR WATER IF APPLICABLE
BEFORE DIGGING, UNDERGROUND SERVICES SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.
CALL LOCATES FOR ALL UNDERGROUNDS PRIOR TO EXCAVATION
THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT OF WAY.

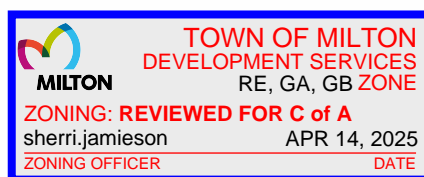


GRADING NOTES:

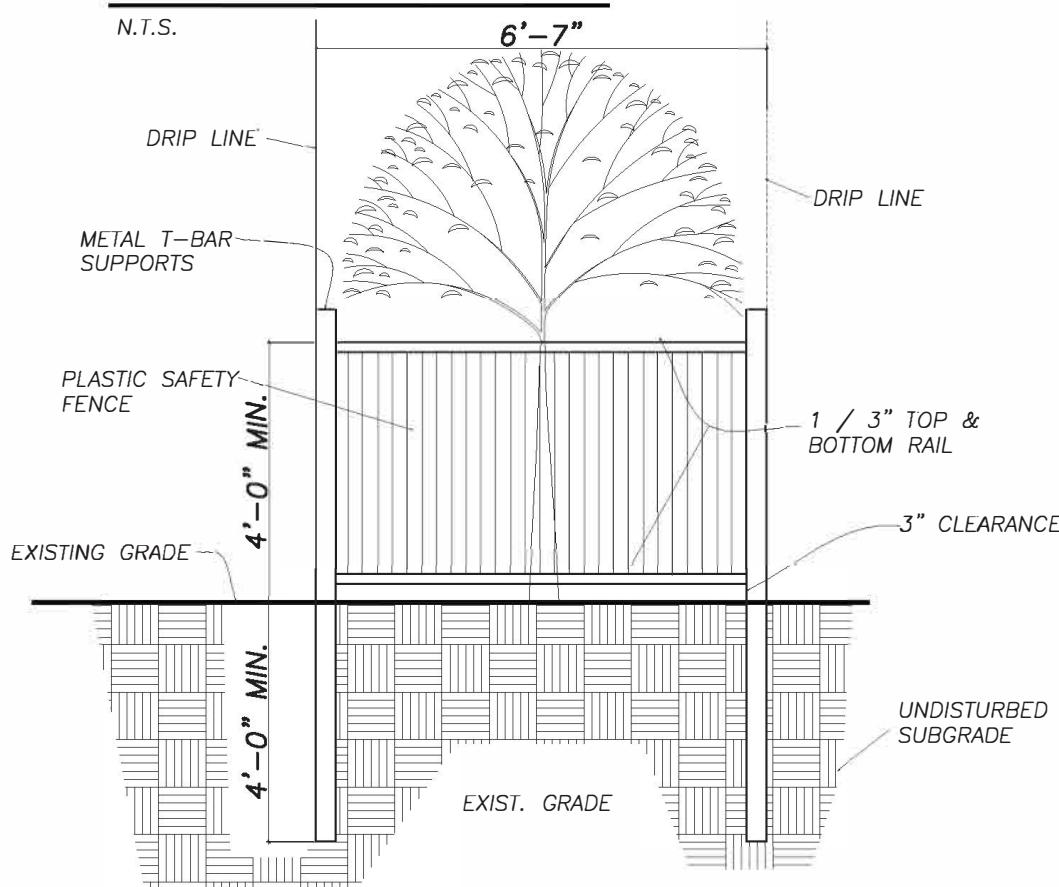
1. EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
2. BASEMENT OPENINGS TO BE MINIMUM 300MM ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY'S ENGINEER.
3. GROUND ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
4. SUMP PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.
5. A MINIMUM OF 150MM (6") FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED.
6. THE FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE BUILDING DESIGNER, BASED ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

NOTE: ALL LOCATES WILL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY HOARDING WITHIN MUNICIPAL RIGHT OF WAY.

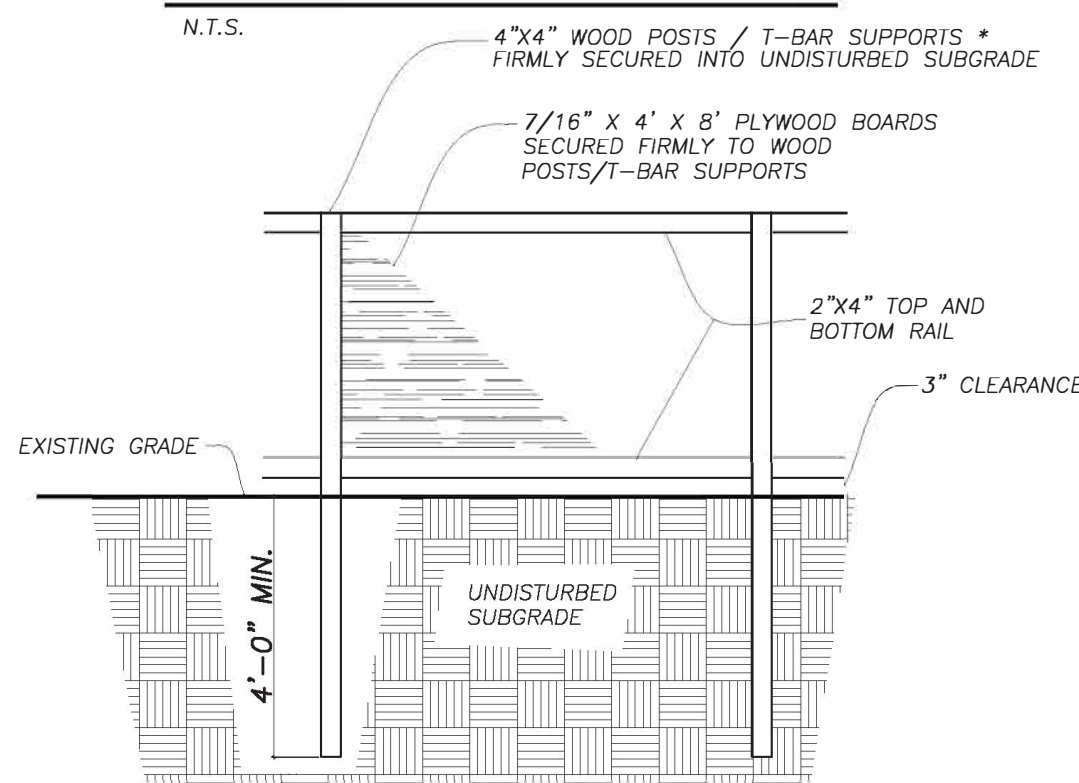
NO OPEN BURNING PERMITTED



FRAMED HOARDING



SOLID BOARD HOARDING



TOWN OF MILTON NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING, AND THAT THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPMENT ENGINEERING.
- SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND FOR SERVING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE, (ROAD OCCUPANCY PERMIT).
- SILT FENCE IS REQUIRED TO BE INSTALLED AROUND ALL DISTURBED AREAS AS PER OPSD 219.110
- ALL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AND COMPACTION TESTING SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE DIRECTOR, DEVELOPMENT ENGINEERING
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO TOWN STANDARDS
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO EXISTING CONDITIONS OR BETTER.

4151 ENNISCLARE DRIVE

ITEM	ZONING BY-LAW REQUIREMENTS	PROPOSED
A ZONING CATEGORY	(RE)	(RE)
B LOT AREA	8000 M2	8164 M2
C LOT COVERAGE	10% (816.4 M2)	7.35% (600.06 M2)
D PERCENTAGE OF LANDSCAPE	50%	78.65% (6,421 M2)
E MAXIMUM BUILDING HEIGHT FROM GRADE	9.5 METERS ESTABLISHED GRADE TO UPPERMOST POINT OF ROOF	8.66 M
F SIDE YARD SETBACKS	INTERIOR 7.5 M EXTERIOR N/A	15.57M & 23.02 M N/A
G FRONT SETBACK	24 M	15.21 M
H REAR SETBACK	15 M	58.01 M

LOCAL BENCHMARK
ELEVATION=364.27m

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042
DATE: JAN 02 2025 SIGNATURE: J. Jansen



70 Main Street N, P.O. Box 38
Campbellville, ON, L0P 1B0
Ph. 905-854-9696
Fax 905-854-9559
Cell 905-815-3438
EMAIL: jeffjansendesign@gmail.com

TYPE :

PROJECT :
4151 ENNISCLARE DRIVE
LOCATION :
MILTON, ON

OWNERS INFORMATION :
DOLAN HAWK
4151 ENNISCLARE DRIVE
MILTON, ON

SITE PLAN

NO.	DATE	DESCRIPTION
1	JAN 02 2025	DESIGN

SCALE 1"=20'	DATE JAN 02 2025	PROJECT NO. 2024-034
DRAWN BY J.J.	CHECKED BY J.J.	DRAWING NO. S1