

SITE PLAN NOTES

UNDERGROUND SERVICES

ALL UNDERGROUND SERVICES, MATERIALS, AND INSTALLATION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS AND CODES.

GRADING

1. REFER TO SITE GRADING AND SERVICE PLAN DRAWING AS PREPARED BY XXX FOR ALL FINISHED GRADES. TOP OF FINISHED CURB / PAVEMENT ELEVATIONS, FINISHED FLOOR LEVELS OF BUILDING, CURBS / CURB DEPRESSIONS, ETC. 2. GRADES WILL BE MET WITHIN 3% MAXIMUM SLOPE AT THE PROPERTY LINES WITHIN THE SITE.

RETAINING WALLS

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M (2.0 FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A THE PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT, AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

BUILDING ACCESS

FLUSH THRESHOLDS FOR ACCESS INTO THE BUILDING BY THE HANDICAPPED WILL BE PROVIDED.

CONCRETE CURBING

CONTINUOUS 150 MM HIGH BARRIER-TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE UNLESS OTHERWISE NOTED.

PARKING

REQUIRED PARKING STALL AND TRAFFIC AISLE DELINEATIONS SHALL BE 100MM WIDE WHITE OR YELLOW MARKINGS.

SIGNAGE

1. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF CURRENT TOWN OF MILTON SIGN BY-LAW, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION. 2. PARKING STALLS RESERVED FOR DISABLED PERSONS SHALL BE IDENTIFIED BY A SIGN WITH A METAL POST AND A HANDICAP SYMBOL. SIGN IN ACCORDANCE WITH REGULATION 486, HTA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS OF SIGNAGE.

FENCING

ALL FENCING LOCATED ADJACENT TO MUNICIPAL LAND IS TO BE LOCATED 150 MM INSIDE THE PROPERTY LINE.

ELECTRICAL

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON THE ADJACENT PROPERTIES. REFER TO ELECTRICAL DRAWINGS AS PREPARED BY XXX.

FIRE DEPARTMENT

1. THE FIRE DEPARTMENT ACCESS ROUTE SHALL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M. 2. FIRE ROUTE TO BE DESIGNATED AS PER CURRENT TOWN OF MILTON BY-LAW AS AMENDED.

TRANSPORTATION & WORKS DEPARTMENT

1. AT THE ENTRANCES TO THE SITE THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE PROPOSED DRIVEWAYS AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE. 2. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB. 3. ALL SURFACE DRAINAGE IS TO BE SELF-CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. 4. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD ARE TO BE PAVED BY THE APPLICANT. 5. SATISFACTORY ARRANGEMENTS ARE TO BE MADE WITH THE TRANSPORTATION AND WORKS DEPARTMENT FOR THE ERECTION AND MAINTENANCE OF HOARDING ADJACENT TO ALL EXISTING PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION. 6. THE MUNICIPAL SIDEWALK THROUGH ALL DRIVEWAY ACCESS ON STEELES AND FUTURE JAMES SNOW PARKWAY TO BE 200MM THICKNESS. 7. PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE, SNOW FENCE TO BE INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT ALL LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING. THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER OF DEVELOPMENT ENGINEERING. 8. SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS AND TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. 9. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT) AND SERVICING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE (ROAD OCCUPANCY PERMIT).

GENERAL NOTES

SURVEY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEYOR'S TOPOGRAPHICAL DRAWING REFERENCE NO. XXX DATED XXX AND REGISTERED PLAN XXX DRAWING REFERENCE NO. XXX PLAN UPDATED AS PREPARED BY XXX LIMITED ONTARIO LAND SURVEYORS

ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO THE TOWN OF MILTON BENCH MARK # 92-012 BEING A BRASS PLAQUE IN A CONCRETE CYLINDER, FLUSH WITH GROUND LEVEL 22 METRES SOUTHWEST OF THE CENTRELINE OF LAWSON ROAD, 8 METRES NORTHEAST OF A CONCRETE CULVERT UNDER LAWSON ROAD ON THE NORTHEAST EDGE OF A GRAVEL DRIVEWAY SERVICING A DETENTION POND HAVING AN ELEVATION OF 213.115 METRES.

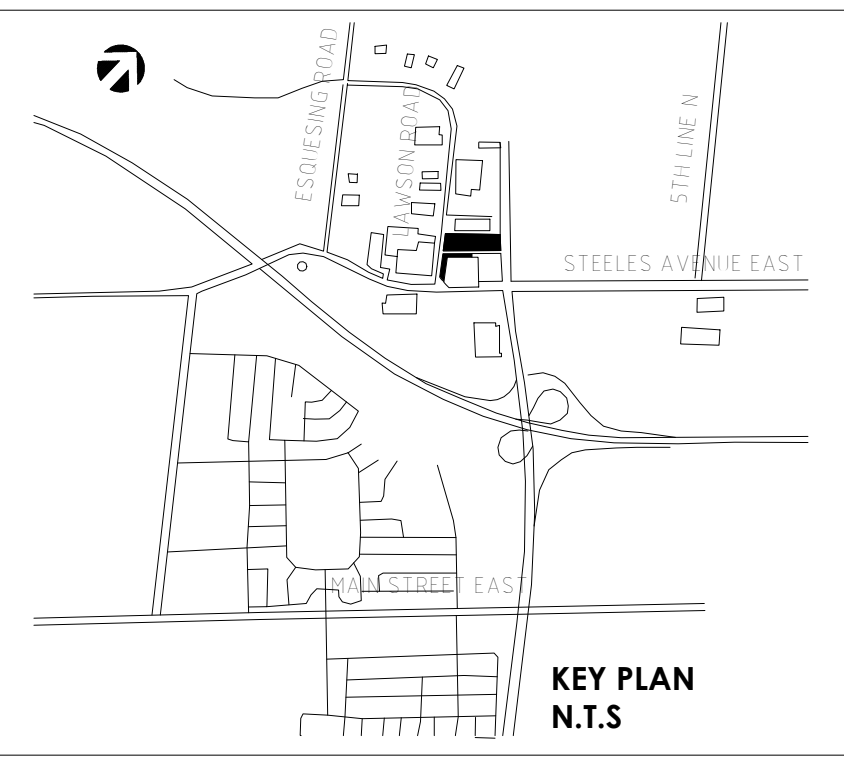
ALL UNDERGROUND UTILITIES SHOWN ON SURVEY DRAWING HAVE BEEN PLOTTED FROM INFORMATION TAKEN FROM AS BUILT DRAWINGS PREPARED BY XXX AND INFORMATION SUPPLIED BY XXX LOCATES BY THE APPROPRIATE UTILITY COMPANY SHOULD BE DONE PRIOR TO CONSTRUCTION OF ANY SORT.

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

FOR ALL LANDSCAPE DETAILS REFER TO LANDSCAPE DRAWINGS AS PREPARED BY XXX.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPING / SOD WORK AND ASPHALT PAVEMENT BEYOND PROPERTY LINES TO STREET CURBS AND/ OR CURBS.

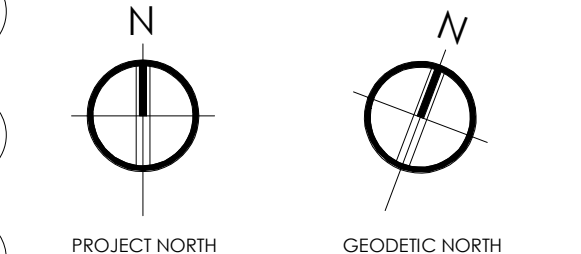
GENERAL CONTRACTOR TO LAY OUT STRUCTURE WITH ALL SETBACKS FROM PROPERTY LINES AND EASEMENTS & REPORT ANY DISCREPANCIES TO THE ARCHITECTS PRIOR TO ANY EXCAVATION WORK - ALL DIMENSIONS AND ASTRONOMIC BEARINGS SHALL BE CHECKED & VERIFIED BY A CERTIFIED O.L.S.



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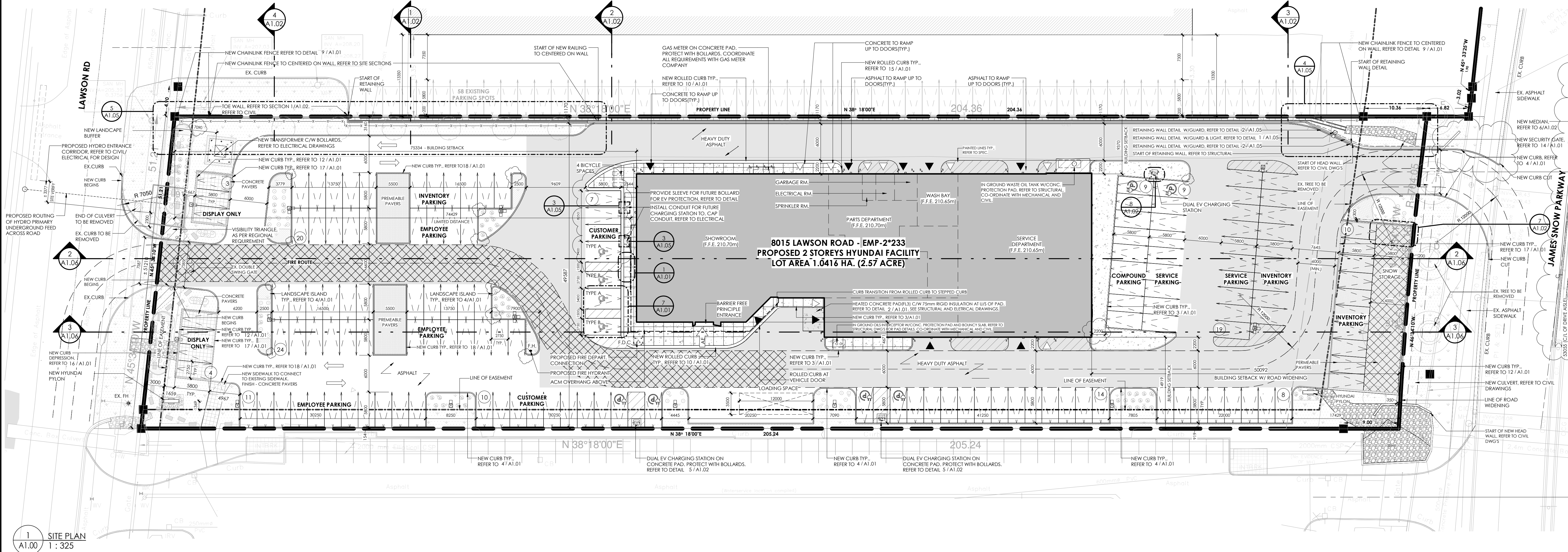
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DO NOT SCALE DRAWING. CONTRACTOR TO CHECK AND VERIFY DIMENSIONS ON SITE PRIOR TO EXECUTION OF THE WORK.



OWNER INFORMATION

NAME: AGCG Holdings Inc.
ADDRESS: 1245 Steeles Avenue E
MILTON, ON L9T 0K2
PHONE No: 000.000.0000



1 SITE PLAN
A1.00 1 : 325

SITE PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
o B	BOLLARD	XX	PARKING COUNT
• B.L	BOLLARD LIGHT		CONCRETE SURFACE
■ CB	CATCH BASIN		CONCRETE PAD WITH RADIANT HEATING
EV	ELECTRIC VEHICLE CHARGING STATION		CONCRETE PAD WITH RADIANT HEATING
F.H	FIRE HYDRANT		MEDIUM DUTY ASPHALT
F.D.C	FIRE DEPARMENT CONNECTION		HEAVY DUTY ASPHALT
H.P	HYDRO POLE		SOD
LS	LIGHT STANDARD		PAINTED LINES
M.H	MAN HOLE		PRECAST CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
	MAIN BUILDING ENTRANCE		CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
	MAN DOOR	XXXX	FENCE
	VEHICLE DOOR		EV CHARGING STATION
	VEHICLE/MAN DOOR		
ACC	ACCESSIBLE ENTRANCE		
FS	FIRE ROUTE SIGN		

SITE STATISTICS

MUNICIPAL ADDRESS: 8015 LAWSON ROAD, MILTON, ONTARIO
ZONING: EMP 2*233
LOT AREA: SUBJECT LOT - EXISTING 1,0416 HA(2.57 ACRE)
LEGAL DESCRIPTION: PART OF LOT 13, REGISTERED PLAN 20M-451 SURVEY INFORMATION: CUNNINGHAM MCCONNELL LIMITED DATED: PRELIMINARY 21 OCTOBER 2019 REF NO. REFERENCE PLAN 20R-20357, GEOGRAPHIC TOWNSHIP OF TRAFALGAR, TOWN OF MILTON
LOT COVERAGE (MAXIMUM BY-LAW No. 016-2014 - TABLE 8B):
- WITH MUNICIPAL SERVICING NO MAXIMUM
- WITHOUT MUNICIPAL SERVICING 35%
BUILDING AREA: 1,854.42 m²
PROPOSED LOT COVERAGE 1,854.42 m² + 10408.61 m² = 17.34%
PROPOSED LOT COVERAGE WITH ROAD WIDENING 1,854.42 m² + 10408.61 m² = 17.82%
NUMBER OF STOREYS: 2
GROSS FLOOR AREA: GROUND FLOOR: 1,854.42 m²
2nd FLOOR - OFFICES 441.94 m²
TOTAL GFA: 2,296.36 m²
FLOOR AREA RATIO 2,296.36 m² ÷ 10693.68 m² = 21.47%
FLOOR AREA RATIO WITH ROAD WIDENING 2,296.36 m² ÷ 10408.61 m² = 22.04%
BUILDING SETBACKS (BY-LAW No. 016-2014 - TABLE 51):
SOUTH (SIDE) 6.0 m
NORTH (SIDE) 6.0 m
WEST (FRONT) 5.0 m
EAST (REAR) 5.0 m
BUILDING HEIGHT (BY-LAW No. 016-2014 - TABLE 8B):
ALLOWABLE MAXIMUM PROPOSED BUILDING HEIGHT 15.00 m
8.9 m

LANDSCAPE BUFFER (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 8B):
SOUTH (SIDE) YARD 0.0 m
NORTH (SIDE) YARD N/A
WEST (FRONT) YARD 3.0 m
EAST (REAR) YARD N/A
REQUIRED 0.154 m / 0.919 m
1.171 m / 3.16 m
1.66 m
6.00 m

LANDSCAPED OPEN SPACE (BY-LAW No. 016-2014 - TABLE 8B):
SITE AREA 8,554.19 m²
REQUIRED MIN: 15.00% (1,283.12m²)
PROPOSED: 17.36% (1,485.33m²)

PARKING SETBACKS (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 51):
SOUTH (SIDE) 0.0 m
NORTH (SIDE) 1.5 m
WEST (FRONT) 3.0 m
EAST (REAR) 4.5 m
REQUIRED 0.154 m / 0.919 m
1.171 m / 3.16 m
4.66 m
0.2 m

PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 5G/SH):
OFFICE/SALES AREA: 1,245.90 m²
MINUS 10% AS PER 5.2: 1,245.90 m² - (1,245.90x10%) = 1,121.31 m²
1 PARKING SPACE PER 30m²: 1,121.31m² / 30m² = 38 PARKING SPACES
SERVICE AREA: 13 BAYS
3 PARKING SPACES PER SERVICE BAY: 13 x 3 = 39 PARKING SPACES
TOTAL REQUIRED PARKING SPACES: 77 PARKING SPACES

NUMBER OF ACCESSIBLE PARKING REQUIRED:
4% x 77 = 4 BF PARKING SPACES = 2 TYPE A & 2 TYPE B

BICYCLE PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 51):
3% OF REQUIRED PARKING SPACES = .03 x 77 = 3 PARKING SPACES
PROPOSED PARKING SPACES: 4 PARKING SPACES
(SEE LANDSCAPE DRAWING FOR DETAILS)

PARKING PROVIDED:
REGULAR SPACES: 135 PARKING SPACES
(NOT INCLUDING 10 DISPLAY TANDEM PARKING SPACES & 9 COMPOUND PARKING SPACES)
B.F. SPACES: 4 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 139 PARKING SPACES

LOADING SPACES (BY-LAW No. 016-2014 - TABLE 5J):
REQUIRED 1
PROPOSED 1

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MILTON HYUNDAI

8015 LAWSON RD, MILTON, ON

SITE PLAN

PROJECT No 2021.019
SCALE As indicated
DATE Issue Date
DRAWING No A1.00
SITE PLAN APPLICATION No 0000000000