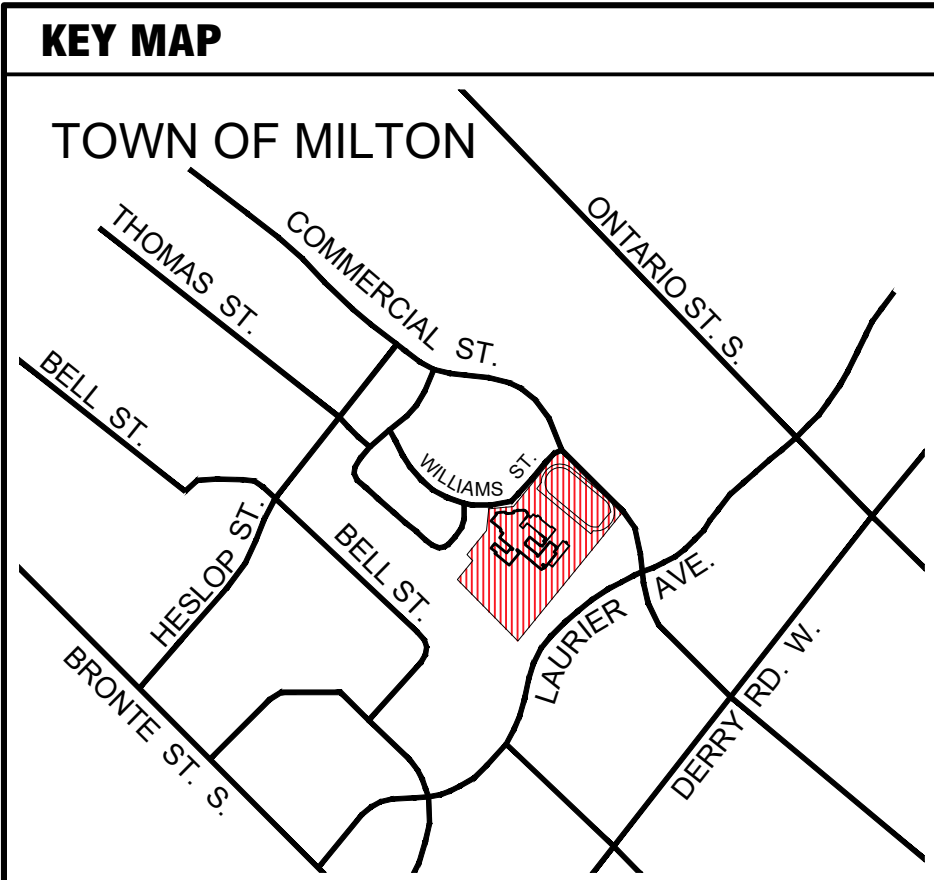




THE LEGAL DESCRIPTION & PROPERTY INFORMATION USED FOR THIS DRAWING HAS BEEN TRANSFERRED FROM THE FOLLOWING DRAWING(S):

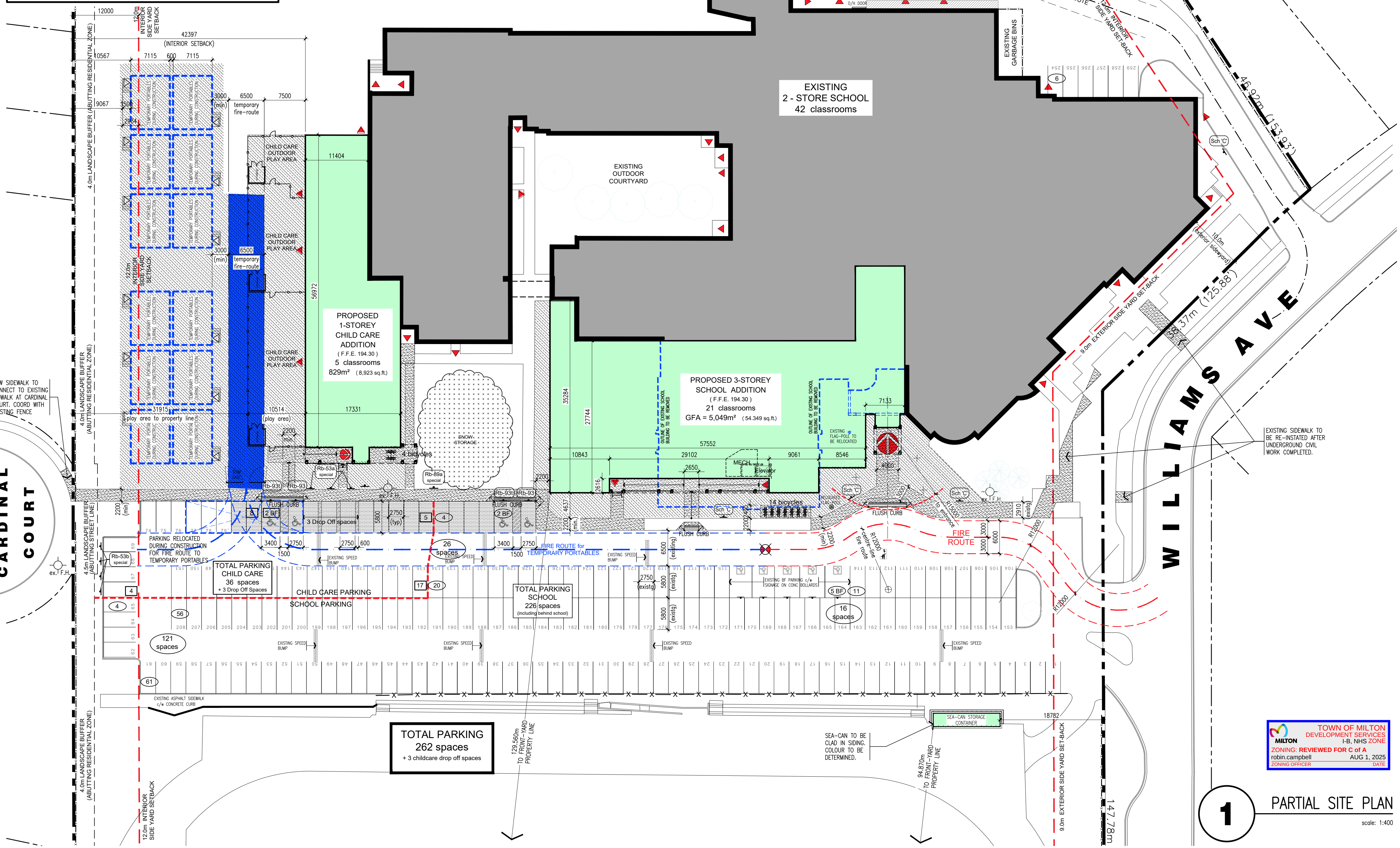
SURVEY PREPARED BY SPEIGHT, VAN NOSTRAND & OGBORN, DATED MAY 17, 2021
TITLED: "SKETCH SHOWING TOPOGRAPHY OF MILTON DISTRICT HIGH SCHOOL ZONE OF MILTON REGIONAL MUNICIPALITY OF HALTON,"
FILE NAME: A2010096.DWG, JOB No.: 201-0096, REF No. 1-569 HALTON,

AND

SURVEY PREPARED BY ONSITE LOCATES INC. DATED NOVEMBER 11, 2024, TITLED "SUBSURFACE UTILITY PLAN OF 396 WILLIAMS AVENUE ZONE OF MILTON REGIONAL MUNICIPALITY OF HALTON,"
REFERENCE NO. 24-46-40379.

AND

CONFIRMING EXISTING CONDITIONS WITH ON-SITE VISITATION / DOCUMENTATION.

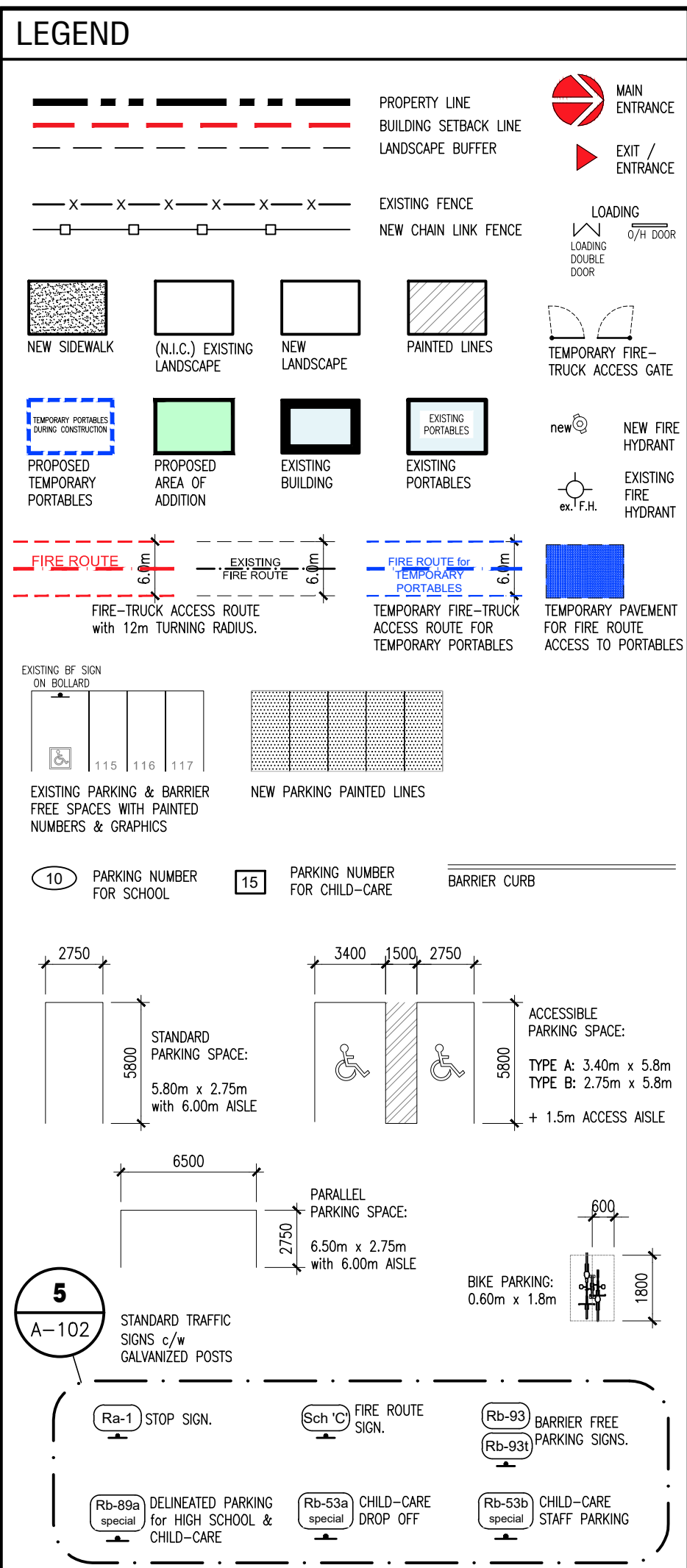


TOWN OF MILTON ZONING (I-B MAJOR INSTITUTIONAL ZONE)			
ZONING REGULATION	REQUIRED	PROVIDED	COMPLIANCE
LOT FRONTAGE (COMMERCIAL STREET)	150.0m	187.75m	YES
LANDSCAPE BUFFER	STREET LINE RESIDENTIAL 4.50 m 4.00 m	STREET LINE RESIDENTIAL 4.50 m 4.00 m	YES
LANDSCAPED OPEN SPACE (68,742.08 m ²) (% OF LOT AREA – MINIMUM)	20% REQUIRED – 13,748 m ²	PROVIDED 39,769.24 m ² = 58%	YES
LOT AREA – MIN / MAX (ha)	3.0 ha / NO MAXIMUM	6.87 ha	YES
LOT COVERAGE (MAXIMUM)	30%	(17,355.3m ²) = 25% (includes Future Temporary Portables)	YES
MINIMUM FRONT YARD SETBACK	9.0m (COMMERCIAL ST.)	129.56m (to school) 94.87m (to Sea-Can)	YES
MINIMUM INTERIOR SIDEYARD SETBACK	6.0m (12.0m if abutting residential)	42.4m (to Child Care)	YES
MINIMUM EXTERIOR SIDEYARD SETBACK	9.0m (facing Williams Ave)	10.0m	
MINIMUM REARYARD SETBACK	7.5m (13.5m if abutting residential)	56.3m (to portables) 95.9m (to school)	YES

OFF-STREET PARKING - GENERAL REQUIREMENTS			
ZONING REGULATION	REQUIRED	PROVIDED	COMPLIANCE
PARKING DIMENSIONS	2.75m width, 5.8m depth with min aisle of 6.0m	2.75m width by 5.8m depth with 6m to 7m wide aisle.	YES
ACCESSIBLE PARKING DIMENSIONS	TYPE "A": 3.4m x 5.8m TYPE "B": 2.75m x 5.8m + 1.5m Aisle	TYPE "A": 3.4m x 5.8m TYPE "B": 2.75m x 5.8m + 1.5m Aisle	YES
MINIMUM WIDTH OF DRIVEWAYS AND PARKING AISLES	6.0 m	6.0 m	YES

OFF-STREET PARKING - SCHOOL ADDITION / EXISTING			
ZONING REGULATION	REQUIRED	PROVIDED	COMPLIANCE
PARKING REQUIREMENTS: 3.0 spaces/classroom	42 Classrooms (existing) = 105 spaces 12 Portables (existing) = 30 spaces 21 classrooms (new) = ~35 spaces 75 TOTAL classrooms @ 3 spaces/classroom PARKING REQUIRED = 225 spaces	226 SPACES	YES
ACCESSIBLE PARKING 200-1000 = 2% barrier free + 2%	7 SPACES	7 SPACES	YES
BIKE PARKING: 5% OF REQUIRED PARKING SPACES	12	14 PROVIDED	YES

OFF-STREET PARKING - CHILD CARE ADULTS			
ZONING REGULATION	REQUIRED	PROVIDED	COMPLIANCE
PARKING REQUIREMENTS: 1.5 spaces per classroom plus 1 space per child of CFA	3 classrooms AREA = 629 sqd PARKING REQUIRED = 36	36 SPACES (+ 3 drop-off spaces)	YES
ACCESSIBLE PARKING: 15-100 4% barrier free	2 SPACES	2 SPACES	YES
BICYCLE PARKING REQUIREMENTS: 3% OF REQUIRED PARKING SPACES	2	4 PROVIDED	YES

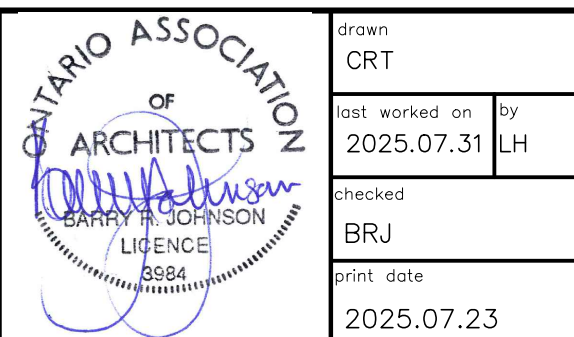
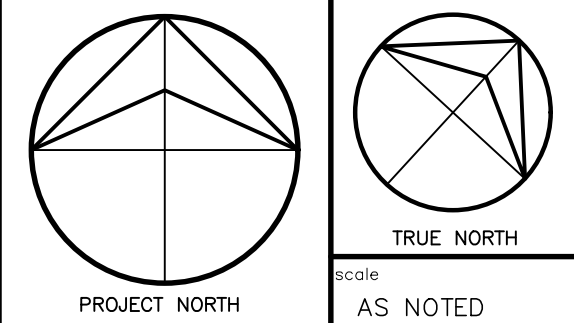


NOTE:

This drawing and all associated documentation are the confidential property of BJC architects + assocs, inc. and must be returned upon request. Any duplication, reproduction, or use of this drawing without the prior written authorization of BJC architects + assocs, inc. is strictly prohibited. Each user of this drawing will check and verify all dimensions and report all errors and omissions to the design manager. If these items are omitted to this drawing, do not scale this drawing.

The information and material herein reflect the best judgement of BJC architects assocs, inc. in, light of the information available to them at the time of preparation of this drawing. The use of this drawing by a third party makes of these documents, or any portion thereof, the property of that third party. Therefore, it is the sole responsibility of such third party, BJC architects + assocs, inc. accepts no responsibility for damages or losses incurred by any third party as a result of decisions made or actions based on these documents © BJC architects + assocs, inc. 2025

02	ISSUED FOR MINOR VARIANCE SUBMISSION-01	2025 07.23
01	ISSUED FOR SPA SUBMISSION-01	2024 08.00
No.	REVISIONS	date



client HALTON DISTRICT SCHOOL BOARD	
2050 GUELPH LINE BURLINGTON	ONTARIO
project MILTON DISTRICT HIGH SCHOOL – PHASE 2 ADDITIONS	
396 WILLIAMS AVE. MILTON	ONTARIO

drawing title SITE PLAN Minor Variance SUB - 01 (2025-07-23)	
reference	
project no. 24—060	SPA FILE No. SP—06/25
sheet no. A - 1 0 1 0 2	