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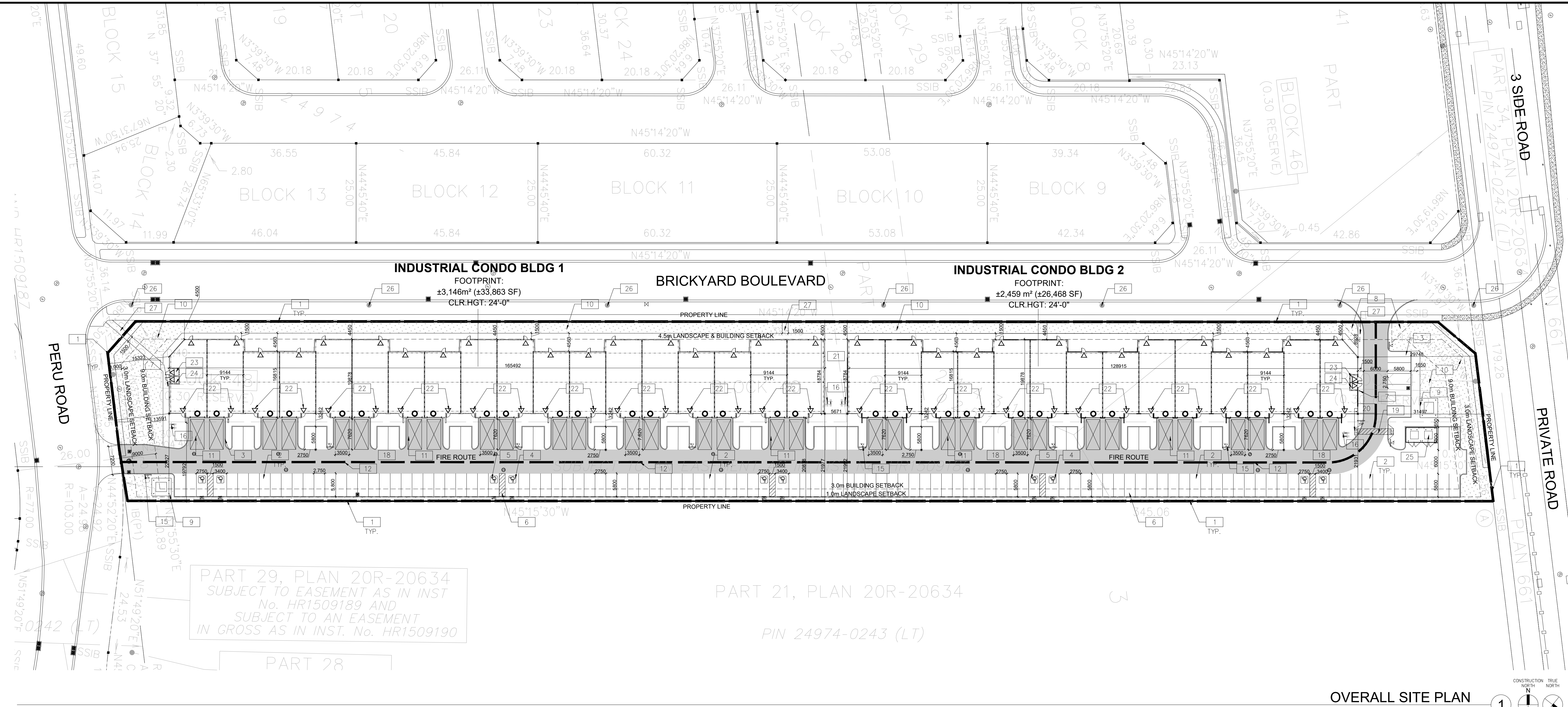
**MILTON INDUSTRIAL  
 MOSAIC**  
 PERU ROAD  
 MILTON, ONTARIO

OVERALL SITE PLAN

DATE	ISSUED FOR COORDINATION	REMARKS
2025-09-12	SPA PROGRESS SET	
2025-10-10	ISSUED FOR SPA	
2025-11-14	ISSUED FOR SPA	

PA / PM: C.R.  
 DRAWN BY: JT  
 JOB NO.: TOR24-0012-00

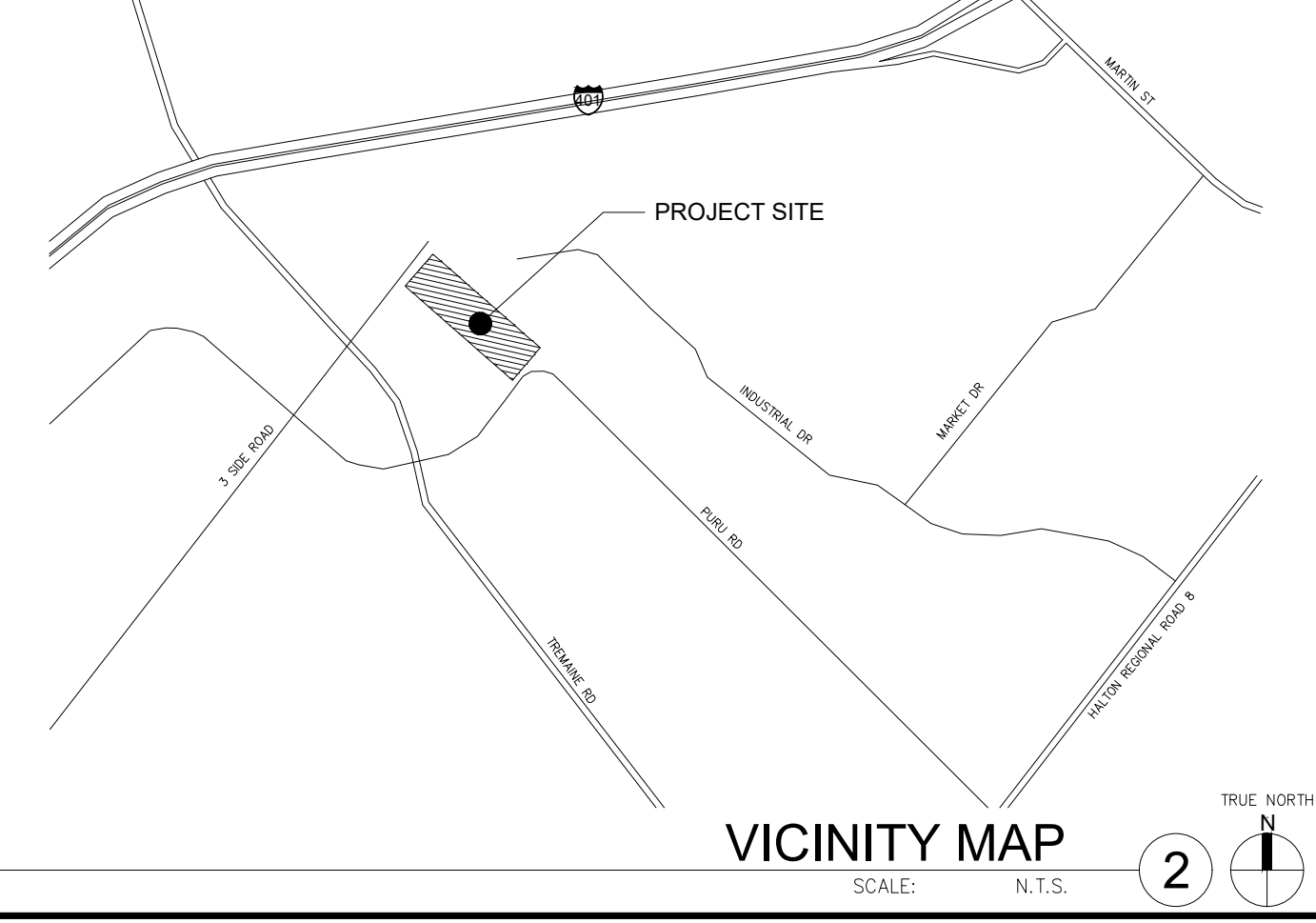
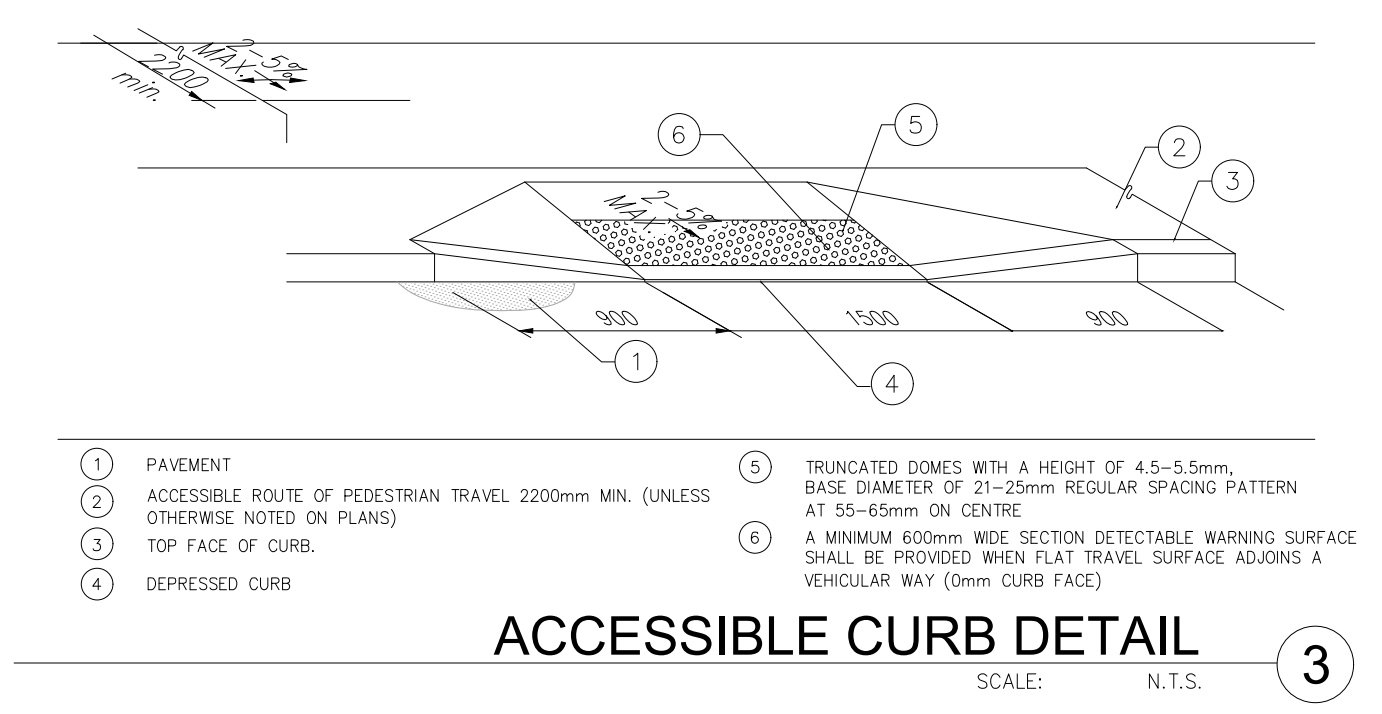
SHEET  
**A100**



OVERALL SITE PLAN  
 SCALE: 1:500

- ### GENERAL NOTES
- PROPERTY LINE
  - TYPICAL 2750mm x 5800mm PARKING STALL, PAINTED PARKING STRIPING
  - 150mm WIDE CURB TYPICAL
  - TYPICAL A ACCESSIBLE PARKING STALL, PAINTED PARKING STRIPING, 3400mm WIDE AND SIGNAGE IDENTIFYING "VAN ACCESSIBLE" AS PER AODA STANDARDS
  - TYPICAL B ACCESSIBLE PARKING STALL, PAINTED PARKING STRIPING, 2750mm WIDE AS PER AODA STANDARDS
  - 1500mm WIDE PAINTED ACCESS AISLE AS PER AODA STANDARDS
  - FIRE DEPARTMENT CONNECTION / SIAMISE
  - 5.0m X 5.0m DAYLIGHTING TRIANGLE
  - PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD AND BOLLARDS
  - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
  - CUBE TRUCK LOADING SPACE - L.S. (MIN. 7.62m X 3.5m)
  - FIRE ACCESS ROUTE W/ 12.5M TURNING RADIUS
  - RESERVED
  - RESERVED
  - PROPOSED FIRE ROUTE SIGN LOCATION
  - PROPOSED BICYCLE STORAGE CONFORMING TO TOWN OF MILTON STANDARDS
  - RESERVED
  - HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
  - PAINTED CROSSWALK STRIPING AS PER CITY STANDARDS
  - ACCESSIBLE CURB RAMP AS PER DETAIL
  - PROPOSED AMENITY AREA
  - PROPOSED PRINCIPLE ENTRANCE
  - PROPOSED MECHANICAL ROOM
  - PROPOSED ELECTRICAL ROOM
  - PROPOSED GARBAGE ENCLOSURE AS PER LANDSCAPE
  - EXISTING FIRE HYDRANT
  - PROPOSED PEDESTRIAN CONNECTION TO MUNICIPAL SIDEWALK

- ### SITE LEGEND
- |  |   |  |  |
|--|---|--|--|
|  | NEW HEAVY DUTY PAVEMENT (HATCHED)   |  | PAINTED CARPOOL PARKING SPACE SYMBOL                   |
|  | LANDSCAPE AREA  |  | BARRIER FREE PARKING SIGN                              |
|  | DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.                                     |  | BARRIER FREE PARKING SIGN WITH VAN TAB                 |
|  | FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS   |  | DRIVE-IN DOOR  |
|  | NEW PROPERTY BOUNDARY   |  | NEW STOP SIGN  |
|  | TRUCK LOADING DOCK DOOR   |  | NEW FIRE ROUTE SIGN                                    |
|  | KNOCK OUT PANEL   |  | GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY |
|  | MAN DOOR ENTRY  |  | LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS       |
|  | EXIT DOOR LOCATION  |  | LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS          |
|  | FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)  |  |  |
|  | PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)                                       |  |  |
|  | EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)                                       |  |  |
|  | 1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/JA1-2 |  |  |
|  | PROPOSED CATCHBASIN REFER TO CIVIL  |  |  |
|  | DENOTES STORM MANHOLE REFER TO CIVIL  |  |  |
|  | DENOTES SANITARY MANHOLE REFER TO CIVIL   |  |  |



### SITE STATISTICS

Provision	Required	Proposed
Zoning Category	M1-Business Park	M1-Business Park
Lot Frontage (Min.) - Along Peru Rd	40.0 m	37.5 m
Lot Area (Min.)	0.80 ha	15,437 m <sup>2</sup>
Gross Floor Area	N/A	5,605 m <sup>2</sup>
Lot Coverage (with Municipal Services)	No maximum	36.31%
Front Yard Setback (Min)	9.0 m	13.5 m
Interior Side Yard Setback (Min)	3.0 m	19.8 m
Exterior Side Yard Setback (Min)	4.5 m	4.5 m
Rear Yard Setback (Min)	9.0 m	29.7 m
Landscape Open Space (min)	10%	13.49%
Number of Parking Spaces (min)	103	154
Number of Accessible Parking Space (min)	5	10
Number of Loading Spaces (min)	3	32
Bicycle Parking (min)	3	16
Building Height (max)	15 m	7.3 m

### Industrial Condo Building 1-Zoning Matrix

Provision	Required	Proposed
Gross Floor Area	N/A	3,146 m <sup>2</sup>
Number of Parking Spaces (min)	55	77
Number of Accessible Parking Space (min)		
Type A: 3.4m x 5.8m	2	4
Type B: 2.75 x 5.8m		
Number of Loading Spaces (min)	2	18
Bicycle Parking (min)	2	8
Building Height (max)	15 m	7.3 m

### Industrial Condo Building 2-Zoning Matrix

Provision	Required	Proposed
Gross Floor Area	N/A	2,459 m <sup>2</sup>
Number of Parking Spaces (min)	48	77
Number of Accessible Parking Space (min)		
Type A: 3.4m x 5.8m	3	6
Type B: 2.75 x 5.8m		
Number of Loading Spaces (min)	2	14
Bicycle Parking (min)	1	8
Building Height (max)	15 m	7.3 m

For the first 1000 m<sup>2</sup>: 1 parking space per 30m<sup>2</sup> of gross floor area shall be provided.  
 Any additional gross floor area shall be calculated in addition to the above provision and provided in accordance with the following rates:  
 For gross floor areas between 1001m<sup>2</sup> to 5000m<sup>2</sup> shall provide 1 parking space per 100m<sup>2</sup> of gross floor area

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