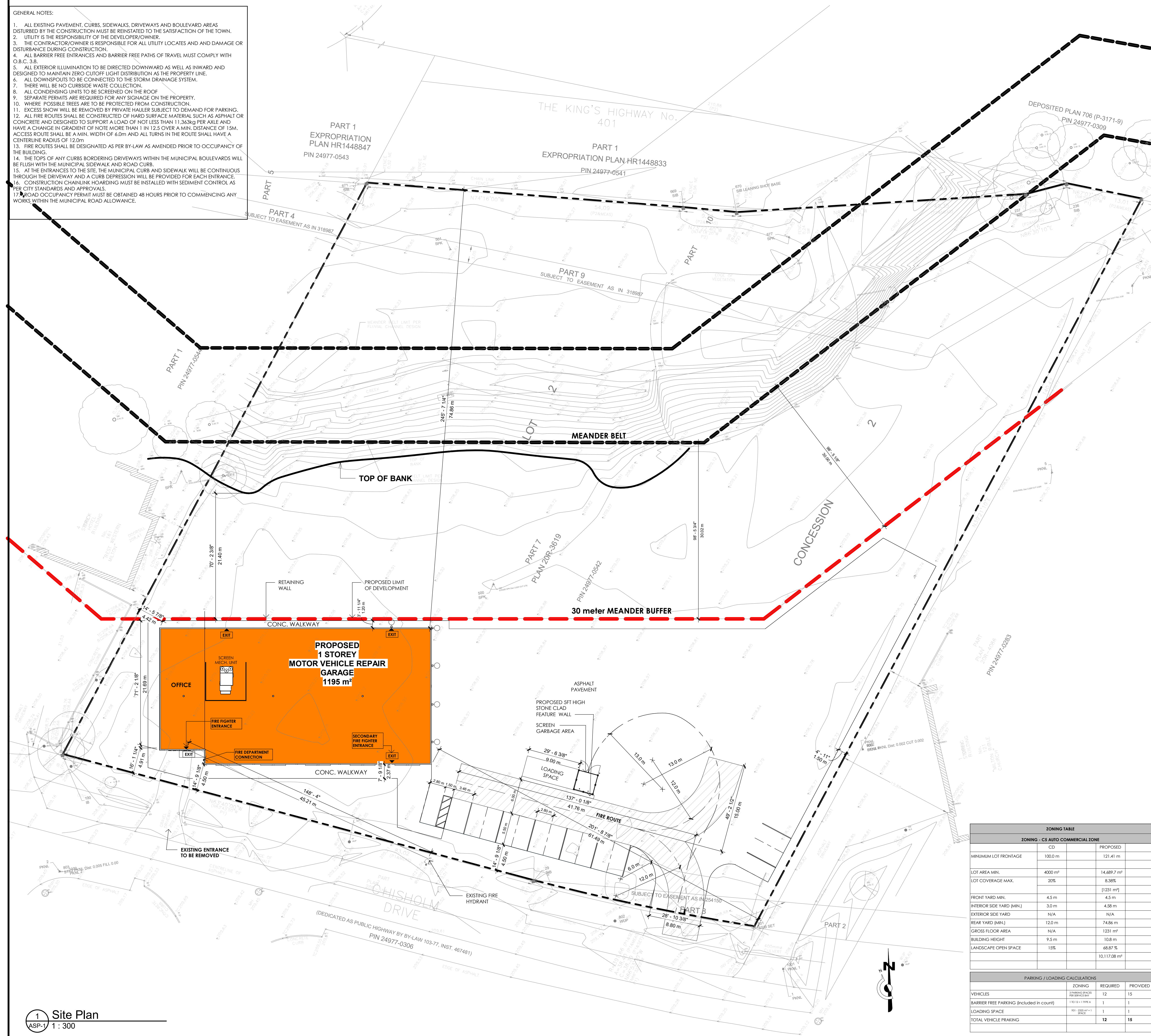
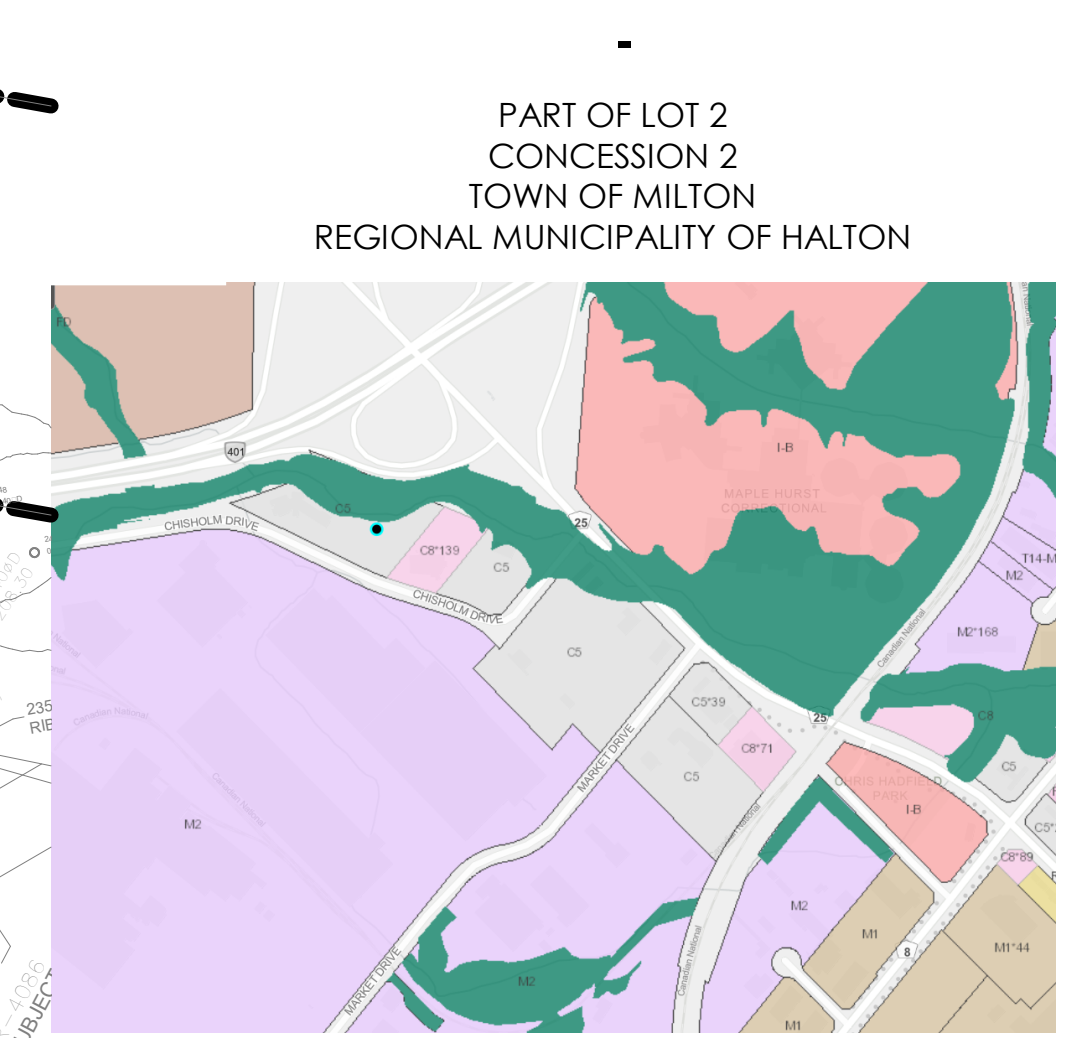


- GENERAL NOTES:
1. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
 2. UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
 3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
 4. ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
 5. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
 6. ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
 7. THERE WILL BE NO CURBSIDE WASTE COLLECTION.
 8. ALL CONDENSING UNITS TO BE SCREENED ON THE ROOF.
 9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
 10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
 11. EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING.
 12. ALL FIRE ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT OR CONCRETE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOTE MORE THAN 1 IN 12.5 OVER A MIN. DISTANCE OF 15M. ACCESS ROUTE SHALL BE A MIN. WIDTH OF 6.0m AND ALL TURNS IN THE ROUTE SHALL HAVE A CENTERLINE RADIUS OF 12.0m.
 13. FIRE ROUTES SHALL BE DESIGNATED AS PER BY-LAW AS AMENDED PRIOR TO OCCUPANCY OF THE BUILDINGS.
 14. THE TOPS OF ANY CURBS BORDERING DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARDS WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.
 15. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
 16. CONSTRUCTION CHAINLINK HOARDING MUST BE INSTALLED WITH SEDIMENT CONTROL AS PER CITY STANDARDS AND APPROVALS.
 17. ROAD OCCUPANCY PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.



SITE PLAN APPLICATION NO.



REFER TO GRADING & SERVICING PLAN PREPARED BY LUBAN ENGINEERING LTD.
 REFER TO LANDSCAPE PLAN PREPARED BY ABOUD & ASSOCIATES LTD.

LAND USE	DRIVEWAY DIMENSIONS	
	WIDTH m	RADIUS m
Light Industrial, Commercial, and Apartment	4.5	7.5
Heavy Industrial	5.0	9.0

DETAIL A: Cross-section of a driveway entrance showing sidewalk, curb, and subgrade details.

PLAN: Top-down view of a driveway entrance showing curb, sidewalk, and boulevard details.

NOTES: A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2009 [Rev 1] OPSD 350.010

ZONING TABLE		
ZONING - CS AUTO COMMERCIAL ZONE		
CD	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	100.0 m	121.41 m
LOT AREA MIN.	4200 m²	14,689.7 m²
LOT COVERAGE MAX.	20%	8.38%
FRONT YARD MIN.	4.5 m	4.5 m
INTERIOR SIDE YARD (MIN.)	3.0 m	4.58 m
EXTERIOR SIDE YARD	N/A	N/A
REAR YARD (MIN.)	12.0 m	74.86 m
GROSS FLOOR AREA	N/A	1231 m²
BUILDING HEIGHT	9.5 m	10.8 m
LANDSCAPE OPEN SPACE	15%	68.87 %
		10,117.08 m²

PARKING / LOADING CALCULATIONS		
VEHICLES	REQUIRED	PROVIDED
VEHICLES	12	15
BARRIER FREE PARKING (included in count)	1	1
LOADING SPACE	1	1
TOTAL VEHICLE PARKING	12	15

PERSPECTIVE VIEW: 3D rendering of the silt fence barrier showing its profile and placement relative to the site boundary.

PLAN: 2D plan view of the silt fence barrier showing its layout and connection to the site boundary.

SECTION A-A: Cross-section of the silt fence barrier showing internal structure, geotextile, and subgrade.

JOINT DETAIL: Detail view of the connection between two sections of the silt fence barrier.

NOTE: A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 [Rev 2] OPSD 219.110

PROJECT NAME
141 Chisholm Dr.

PROJECT ADDRESS
141 Chisholm Dr.
MILTON ON

CLIENT
786 GROUP INC.



CONSULTANTS:

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ARCHITECT SEAL:

Project number 25016
 Date 12/17/2025
 Drawn by ASB
 Checked by KDI
 Scale As indicated

REVISIONS		
No.	Description	Date

SITE PLAN

ASP-1

141 Chisholm Dr.