

SITE PLAN AND BUILDING STATISTICS

CURRENT ZONING: M2
BY-LAW: TOWN OF MILTON (016-2014) - HUSP URBAN AREA

SITE STATISTICS

ORIGINAL LOT AREA: +/- 69,992.36 M²
 LOT AREA AFTER ROAD WIDENING: +/- 69,817.71 M²

BUILDING A GFA: 237,191.16 FT² / 22,035.78 M²
 BUILDING B GFA: 5616.72 FT² / 521.81 M²
 BUILDING C GFA: 449.72 FT² / 41.78 M²

LOT FRONTAGE: (MIN. 40 M)

BUILDING HEIGHT (MAX. 18.5M: 13.1.1.328)
 BUILDING A: 14.59 M
 BUILDING B: 7.98 M
 BUILDING C: 3.2 M

LOT COVERAGE (NO MAX. W/ SERVICING: TABLE 8B) +/- 32.37%

LANDSCAPE

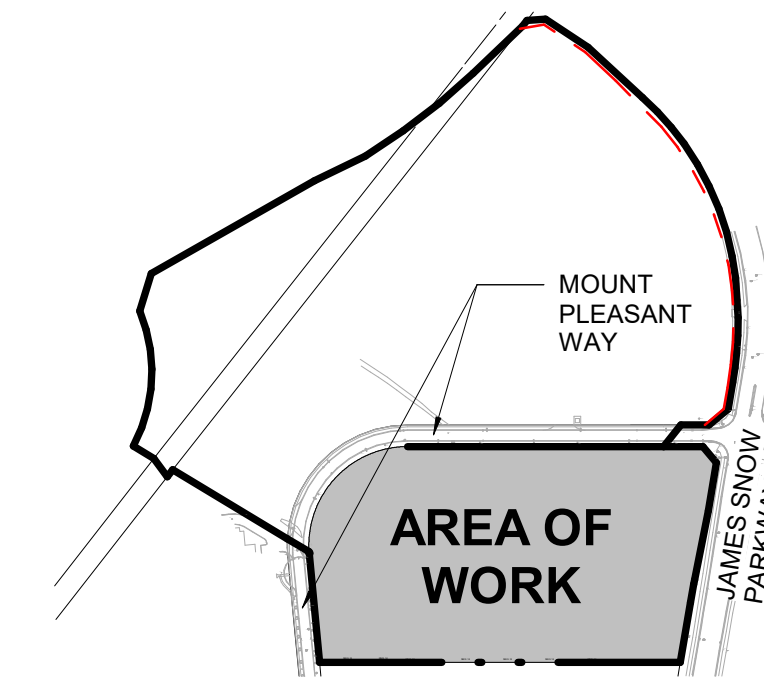
LANDSCAPE AREA	REQUIRED	PROPOSED
	5% (TABLE 8B)	(17,977.2 SM) +/- 25.7%

PLANTING STRIP WIDTH (ABUTTING JAMES SNOW PARKWAY) 4.5 M YES

BUILDING HEIGHT & SETBACKS	REQUIRED	PROPOSED
(TABLE 8B)		
FRONT YARD		
BUILDING A SETBACK	9 M	69.05 M
BUILDING B SETBACK	9 M	315.45 M
BUILDING C SETBACK	9 M	287.97 M
SIDE YARD		
EXT. BUILDING A SETBACK	9 M	44.11 M
EXT. BUILDING B SETBACK	9 M	98.45 M
EXT. BUILDING C SETBACK	9 M	178.35 M
INT. BUILDING A SETBACK	3 M	46.95 M
INT. BUILDING B SETBACK	3 M	74.18 M
INT. BUILDING C SETBACK	3 M	17.01 M
REAR YARD		
BUILDING A SETBACK	12 M	69.75 M
BUILDING B SETBACK	12 M	15 M
BUILDING C SETBACK	12 M	37.38 M

PARKING REQUIREMENTS	REQUIRED	PROPOSED
PARKING SPACE SIZES		
STANDARD SIZE (SECTION 5)	2.75 X 5.8 M	YES
aisle width (TABLE 5B)	6.0 M	YES
FIRE TRUCK ENTRANCE WIDTH	9.0 M	12 M
PARKING REQUIREMENTS WAREHOUSE FOR THE FIRST 1000 SM:		
1 PER 30 SM. FOR > 5000 SM AREA:	125 SPACES	
+ 1 PER 200 SM (TABLE 5G)		
OFFICE: 1 PER 30 SM (TABLE 5G)	89 SPACES	
TOTAL	214 SPACES	389 SPACES
BARRIER FREE PARKING AODA STANDARDS:		
FOR 201 TO 100 SPACES:	6 SPACES	6 SPACES
+ 2% OF PARKING		
LOADING REQUIREMENTS (TABLE 5J) > 7441 M²: 3+1 FOR EACH ADDITIONAL 9300 M²	5 SPACES	11 SPACES
TRAILER PARKING		5 SPACES

CAMPUS KEY PLAN



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PROJECT TITLE

PROJECT ROCKY ROOSTER

MOUNT PLEASANT WAY & JAMES SNOW PARKWAY
 MILTON, ON.

A PROJECT FOR

BROCCOLINI REAL ESTATE GROUP

PLAN LEGEND

- LANDSCAPED AREA
- PROPOSED CONCRETE APRON
- DESIGNATED FIRE ACCESS LANE - MINIMUM 6M
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- SNOW STORAGE
- PROPOSED INTERIOR OFFICE SPACE
- 5M X 5M DAYLIGHT TRIANGLES
- FIRE ROUTE SIGN
- SIGN
- SIAMENSE CONNECTION
- PROPOSED FENCE
- PROPERTY LINE
- ROAD WIDENING EASEMENT
- LANDSCAPE SETBACK
- NOT IN SCOPE

3400 TYP, 1500 TYP, 2750 TYP, 2750 TYP

ACCESSIBLE

TYPE A (VAN), TYPE B

5600 TYP, 5600 TYP

BARRIER FREE PARKING STANDARD PARKING

DATE	REVISION
2026-03-25	Issued for SPA

PROJECT NO: 255034
 DRAWN BY: NM
 CHECKED BY: AS

SHEET NAME

OVERALL SITE PLAN - PHASE 1

1

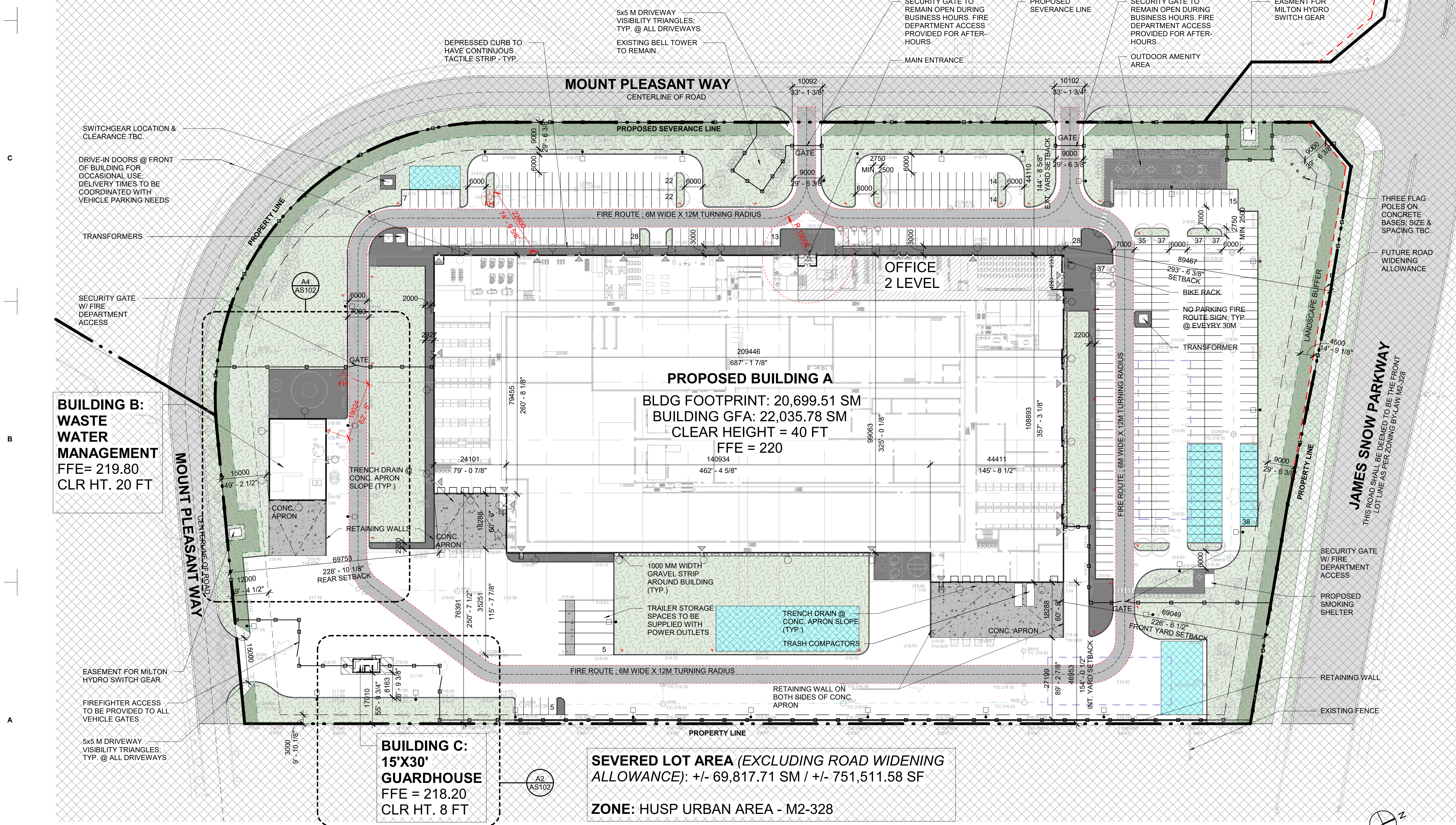
SEAL

ONTARIO ASSOCIATION OF ARCHITECTS

AMANDA ALVARO SANABRIA
 LICENCE 7712
 2026-03-25

SHEET NUMBER

AS101



OVERALL SITE PLAN - PHASE 1

SCALE: 1:700

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