

DRAFT PLAN OF SUBDIVISION 24T-14012/M

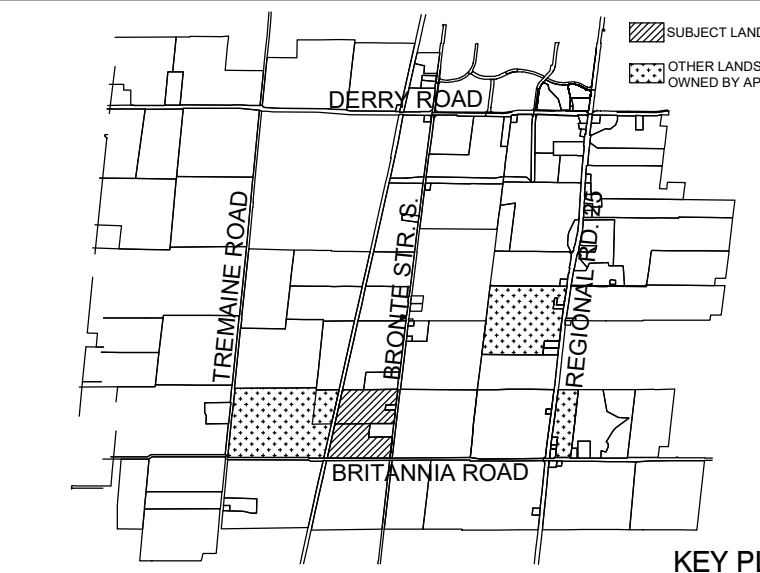
Shadybrook Development Inc.

ONE OF THE



GREAT GULF GROUP
OF COMPANIES

Part of Lot 6, Concession 1
(Geographic Township of Trafalgar)
Town of Milton, Regional Municipality of Halton



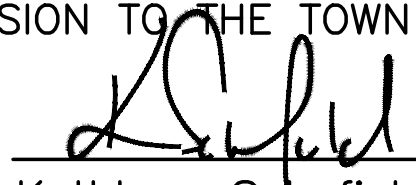
SCHEDULE OF ADDITIONAL INFORMATION SECTION 51 (17) OF THE PLANNING ACT	
(a) SHOWN	(g) SHOWN
(b) SHOWN	(h) MUNICIPAL WATER IS AVAILABLE
(c) SHOWN	(i) SOIL IS CLAY LOAM
(d) THE LAND IS TO BE USED ACCORDING TO THE SCHEDULE OF LAND USE	(j) SHOWN
(e) SHOWN	(k) ALL MUNICIPAL SERVICES ARE AVAILABLE
(f) SHOWN	(l) SHOWN

SCHEDULE OF LAND USE

LAND USE	LOTS/ BLOCKS	NO. OF UNITS	AREA (ha)	DENSITY (UPHA)	SDE
11.0M SINGLE DETACHED RESIDENTIAL LOTS	1-139	67	7.57	42.9	67
9.5M SINGLE DETACHED RESIDENTIAL LOTS		48			48
8.0M SEMI DETACHED RESIDENTIAL LOTS		48			48
6.4M STREET TOWNHOUSES	140-159	122	18		92.72
6.4M BACK-TO-BACK STREET TOWNHOUSES	160-163	40			18
MAJOR NODE	164		2.72		
FUTURE RESIDENTIAL	165-168		0.46		
STORMWATER MANAGEMENT POND	169		1.35		
7.5m STORMWATER MANAGEMENT BUFFER	170		0.16		
GREENLAND CHANNEL	171		2.70		
10m GREENLAND CHANNEL BUFFER	172,173		1.61		
5m PEDESTRIAN TRAIL	174		0.38	4.46	
5m SERVICING BLOCK	175		0.02		
LANDSCAPE BUFFER	176,177		0.02		
STREET "A"-"B" (24.0m ROW) - 566.5m					
STREET "C"-"J" (16.0m ROW) - 1,918.0m					
TOTAL		325	21.45		273.72

OWNER'S CERTIFICATE

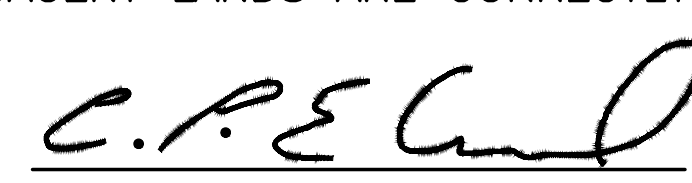
WE, SHADYBROOK DEVELOPMENT INC. HEREBY AUTHORIZE
GLEN SCHNARR & ASSOCIATES INC. TO SUBMIT THIS DRAFT PLAN OF
SUBDIVISION TO THE TOWN OF MILTON FOR APPROVAL

SIGNED 
Kathleen Schofield A.S.O.

DATE: May 30, 2014

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE
SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP
TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN

SIGNED 
Paul Edward O.L.S.
Rady-Pentek & Edward Surveying LTD

DATE: May 30, 2014

NOTES:

- Corner radius:
- Where Local ROW intersects with Collector - 7.5m
- Where Local ROW intersects with Local ROW - 5m
- 500.2m (1,641') 16.0m Local R.O.W. Length and 0.82ha (2.03ac) located within Major Node
- SDE Factors (as per 2020 Allocation Program): Single Detached and Semi-Detached 1.0, Street Townhouse 0.76, Back-to-Back Townhouse 0.45



SCALE 1:1500
(24x36)
October 20, 2016

PLAN REVISED ON November 9, 2022

