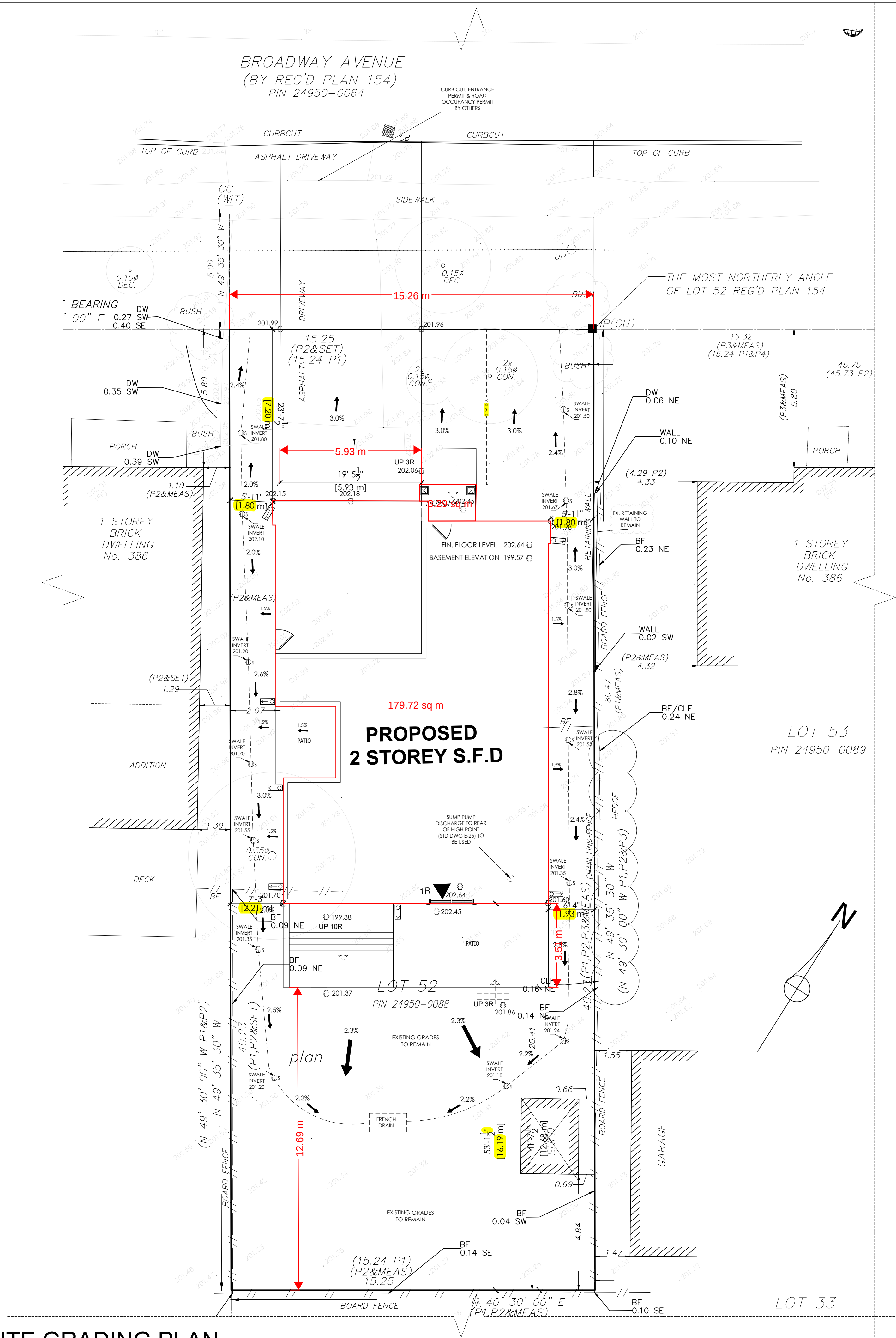


SITE GRADING PLAN
SC: 1:100



SITE DATA	
ADDRESS : 382 Broadway Ave, Milton, ON L9T 1T7	
LOT AREA : 613.42 sq m	
BUILDING HEIGHT	PROPOSED DEVELOPMENT
HEIGHT TO HIGHEST RIDGE	9.00 m from ESTABLISHED GRADE

SETBACKS	PROPOSED DEVELOPMENT
MIN. FRONT YARD SETBACK	7.20 m
MIN. REAR YARD SETBACK	16.19 m
MIN. SIDE YARD SETBACK (EAST)	1.80 m
MIN. SIDE YARD SETBACK (WEST)	1.80 m

GROSS FLOOR AREA	PROPOSED DEVELOPMENT
MAIN FLOOR	139.9 sq m
SECOND FLOOR	181.25 sq m
TOTAL GFA	321.15 sq m
GARAGE AREA	39.57 sq m

LOT COVERAGE	PROPOSED DEVELOPMENT
DWELLING FOOTPRINT (INCL. GARAGE)	179.47 sq m
PORCH	3.25 sq m
TOTAL LOT COVERAGE	182.72 sq m (29.78)

LANDSCAPED SOFT AREA	PROPOSED DEVELOPMENT
FRONT YARD AREA	115.55 sq m
PORCH	3.25 sq m
WALKWAY	3.42 sq m
DRIVEWAY	42.65 sq m
OTHER HARD SURFACES	N/A
TOTAL LANDSCAPED SOFT AREA	66.23 sq m (57.3 %)
REAR YARD AREA	246.7 sq m

SERVICING NOTES
1. THIS DEVELOPMENT APPLICATION DOES NOT PROPOSE NEW WATER/ SEWER CONNECTION AND EXISTING CONNECTIONS SHALL BE RETAINED.

NOTE

CAP AND GROUT OF THE ABANDONED WATERMAIN MAY BE REQUIRED FOR ANY NEW SERVICES CROSSING ABANDONED INFRASTRUCTURE

THE LOCATION OF ALL UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

CONTRACTOR TO VERIFY EXISTING STORM AND SANITARY SERVICE INVERTS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

All damaged or disturbed areas within the municipal right-of-way are to be reinstated at the owner's expense. All landscaping and grading within close proximity to the proposed access points is to be designed to ensure that adequate sight distances are available for all approaching and exiting motorists and pedestrians. The portion of the driveway within the municipal boulevard is to be paved by the applicant. Driveway accesses shall maintain a 1.5m setback from aboveground features such as utilities and trees. Any above ground utilities located within 1.5m of a proposed access are to be relocated at the applicant's expense.

All asphalt and base materials of the existing driveway being removed are to be reinstated with topsoil and sod. Additional securities may be required as part of the Grading Deposit which will subsequently be quoted and administered by the Development Construction Section.

NOTE

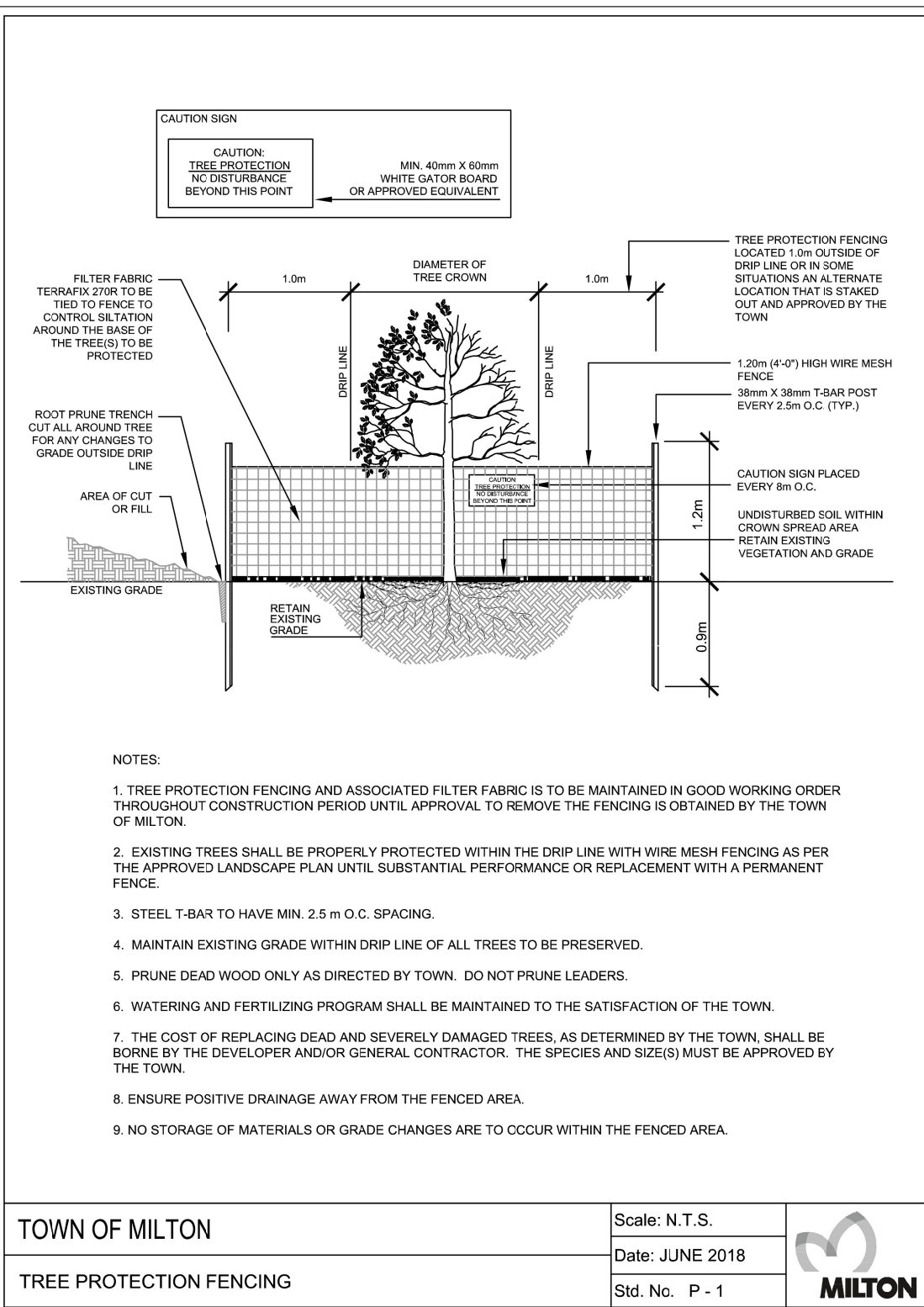
IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF THE GRAVITY CONNECTION CANNOT BE ACHIEVED FROM THE PROPOSED BASEMENT ELEVATION, AS SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER OBC, AND MUNICIPAL REQUIREMENT.

HOMEOWNER/ APPLICANT MUST ENSURE ALL EXCESS EXCAVATED MATERIAL IS REMOVED OFF SITE .

CERTIFICATION

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and Town of Milton standards.

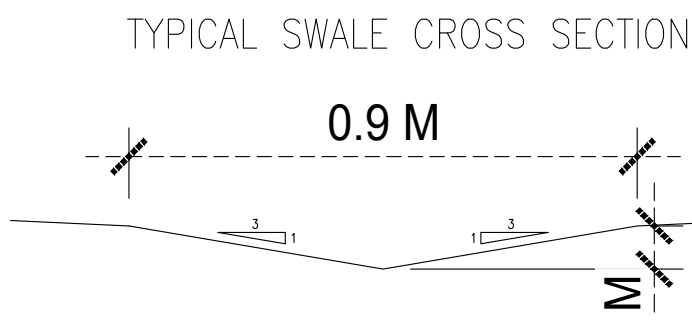
DATE : 2023-05-11



TOWN OF MILTON GENERAL NOTES

- "Prior to the commencement of any works on the site, snow fence is to be installed on the perimeter of the property and at locations as determined by the Manager, Development Engineering, and the snow fence shall remain in place until such time as otherwise directed by the Manager, Development Engineering.
- "Silt controls are to be in place prior to the start of site works, and be maintained for the duration of construction."
- "All fill shall be compacted to 95% Standard Proctor Density and that a sufficient number of tests are undertaken to the satisfaction of the Director of Engineering Services."
- "Prior to commencement of any works within the municipal road allowance, the Owner is responsible for obtaining all necessary permits from the Engineering Services Department, Town of Milton, for the purposes of vehicular access to the property, (Entrance Permit), and for servicing excavations within the municipal road allowance, (Road Occupancy Permit)."
- Parking stall delineation shall be with 100mm wide white or yellow markings."
- Where applicable indicate: "Outdoor refuse storage is not proposed, all refuse will be stored internally."
- ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.
- DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
- WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE GRADE CHANGES IN EXCESS OF 1.0 M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL DISTURBED AREAS MUST BE SEED OR SODDED. TOPSOIL TO BE AT LEAST 100MM.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY
- GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY STRUCTURE IS 1.2M. WHERE NEW DEVELOPMENTS ABUT EXISTING DEVELOPMENTS, THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS.
- DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE FILL.
- WHEREVER POSSIBLE, A 0.6M SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
- IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE TOWN OF MILTON WORKS AND TRANSPORTATION DEPARTMENT.
- ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELIN OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF MILTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

- PROPOSED RAIN WATER LEADER
- PROPOSED GRADE ELEVATIONS
- PROPOSED SWALE INVERT ELEVATIONS



ELEVATION NOTE

Elevations are Referred to the Town of Milton having an Elevation of 202.022 m. Benchmark No. 92-008,

BEARING NOTE

Bearings are Astronomic, and are Referred to the Southeastly limit of Broadway Avenue as shown on Reg'd Plan 154, having a Bearing of N 40' 30' 00" E.

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.

LEGENDS:-

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY

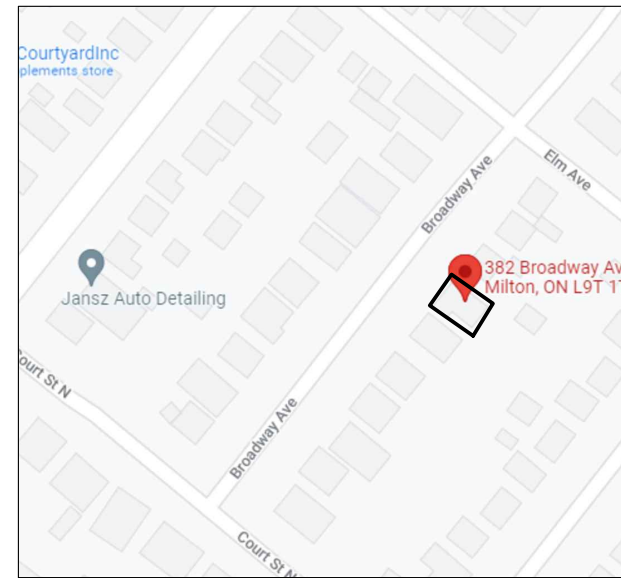
None

NOTABLES

Note the location of the Fences around the Subject Property.
Note the location of the Retaining Wall along the Northwesterly Limit of the Subject Property.
Note the location of the Driveway along the Southwesterly Limit of the Subject Property.

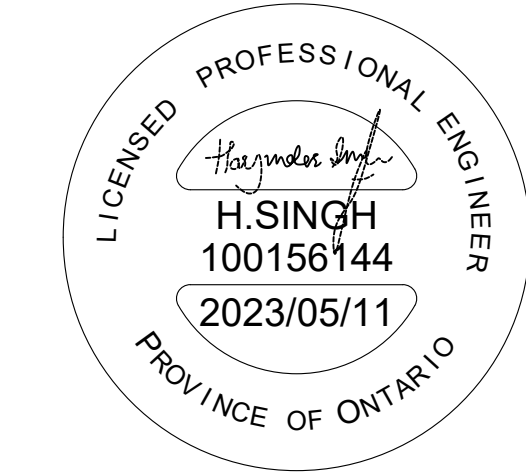
LEGEND			
Survey Monument Found	Standard Iron Bar	N	Denotes North
Survey Monument Set	Standard Iron Bar	S	Denotes South
Iron Bar	Standard Iron Bar	E	Denotes East
Iron Pipe	Standard Iron Bar	W	Denotes West
Cut Cross	Standard Iron Bar		
Origin Unknown	Standard Iron Bar		
Witness	Standard Iron Bar		
(250) Fred G. Cunningham Inc.	Standard Iron Bar		
(1880) J. H. Galloway Surveying Ltd., O.L.S.	Standard Iron Bar		
P1 Registered Plan 154	Standard Iron Bar		
P2 Plan of Survey by Fred G. Cunningham Inc. O.L.S. dated June 10, 1991 (Lot 52)	Standard Iron Bar		
P3 Plan of Survey by J. H. Galloway Surveying Ltd., O.L.S. dated March 12, 2019	Standard Iron Bar		
P4 Plan of Survey by Fred G. Cunningham Inc. O.L.S. dated June 10, 1991 (Lot 50)	Standard Iron Bar		
P5 Plan of Survey by H. G. Sewell O.L.S. dated August 8, 1953	Standard Iron Bar		
FF Finished Floor	Standard Iron Bar		
UP Utility Pole	Standard Iron Bar		
DEC Deciduous	Standard Iron Bar		
MH Maintenance Hole	Standard Iron Bar		
CLF Chain Line Fence	Standard Iron Bar		
CB Catch Basin	Standard Iron Bar		
EG Established Grade	Standard Iron Bar		

KEY PLAN



REVISION	NO.	DATE	DESCRIPTION	BY
1	2023-05-11	ISSUED FOR SUBMISSION		

Firm Name and Address
MEM ENGINEERING INC
2355 DERRY ROAD EAST,
MISSISSAUGA, ON, L5S 1V6
905-673-9100
Email:harry@memengineering.ca



PROJECT TITLE:

382 Broadway Ave,
Milton, ON L9T 1T7

SHEET TITLE:

SITE
GRADING PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE:

DRAWING NO.:

PLOT DATE:

2022-12-22

DRAWN BY:

AR

CHECKED BY:

HS

A99